



Planning and Zoning Board Agenda

June 8, 2021

Room 102 – 7:00 P.M.

Call to Order:

Roll Call:

Approval of Minutes: May 11, 2021

Public Comment: For matters that are not on the Agenda

Old Business: None

New Business:

1. Address: 69-79 Broadway Street

Case Number: 21-009-CU

The petitioner is requesting a Conditional Use under Section 12-7-3(K) of the 1998 Des Plaines Zoning Ordinance, as amended, to locate a Commercially Zoned Assembly Use at 69-79 Broadway Street in the C-3 zoning district, and approval of any other such variations, waivers, and zoning relief as may be necessary.

PINs: 09-07-418-016-0000; -017; -018; -019

Petitioner: Steven Bonica, 732 W. Algonquin Road, Arlington Heights, IL 60005

Owner: Gerald J. Meyer, 108 W. Sunset Road, Mount Prospect, IL 60056

2. Address: 1418-1424 Wedgewood Avenue

Case Number: 21-014-TPLAT-V

The petitioner is requesting the following items: (i) a Tentative Plat of Subdivision under Section 13-2-2 of the Subdivision Regulations to split an existing lot into two new lots of record; (ii) a Standard Variation under Section 12-7-2(J) of the Des Plaines Zoning Ordinance, as amended, to allow a lot width of 50-feet where a minimum lot width of 55-feet is required in the R-1 zoning district; and the approval of any other such variations, waivers, and zoning relief as may be necessary.

PIN: 09-19-405-009-0000

Petitioner: Daniel Beniek, Skycrest Homes, 26303 W. Merton Road, Barrington, IL 60010

Owner: Daniel Beniek, Skycrest Homes, 26303 W. Merton Road, Barrington, IL 60010

3. Addresses: 1316 Webford Avenue

Case Number: 21-016-V

The petitioner is requesting a Major Variation under Section 12-8-1(C) of the Des Plaines Zoning Ordinance, as amended, to allow for the installation of an 897-square foot detached garage where the maximum detached garage

area is 720-square feet in the R-1 zoning district, and the approval of any other such variations, waivers, and zoning relief as may be necessary.

PIN: 09-17-306-028-0000

Petitioner: Chris Colldock, 1316 Webford Avenue, Des Plaines, IL 60018

Owner: Chris Colldock, 1316 Webford Avenue, Des Plaines, IL 60018

Next Agenda –June 22, 2021

City of Des Plaines, in compliance with the Americans With Disabilities Act, requests that persons with disabilities, who require certain accommodations to allow them to observe and/or participate in the meeting(s) or have questions about the meeting(s) or facilities, contact the ADA Coordinator at 847-391-5486 to allow the City to make reasonable accommodations for these persons. The public hearing may be continued to a further date, time and place without publication of a further published notice such as this notice.

Case 21-007-CU	1011 E Touhy Ave	Conditional Use
Case 21-008-CU	1628 Rand Rd	Conditional Use
Case 21-012-FPLAT-PUD-A	Various Addresses	Final Plat of Subdivision/PUD Amendment
Case 21-013-CU	1470-1476 Miner St	Conditional Use

May 11, 2021
Page 1



DES PLAINES PLANNING AND ZONING BOARD MEETING
May 11, 2021
MINUTES

As the City of Des Plaines continues to follow social distancing requirements and Governor Pritzker's Restore Illinois Order, the Planning and Zoning Board Meeting on Tuesday, May 11, 2021 was held virtually, via Zoom, and in person in Room 101 of the Des Plaines Civic Center beginning at 7:00 p.m.

ZONING BOARD

Chairman Szabo called the meeting to order at 7:02 p.m. and read this evening's cases. Roll call was established.

PRESENT: Fowler, Hofherr, Saletnik, Veremis, Szabo

ABSENT: Bader, Catalano

ALSO PRESENT: Michael McMahon/Director/Community & Economic Development
Jonathan Stytz, Planner/Community & Economic Development
Wendy Bednarz/Recording Secretary

A quorum was present.

PUBLIC COMMENT

There was no Public Comment.

APPROVAL OF MINUTES

A motion was made by Board Member Hofherr, seconded by Board Member Saletnik, to approve the minutes of March 23, 2021, as presented.

AYES: Hofherr, Saletnik, Fowler, Veremis, Szabo

NAYES: None

ABSTAIN: None

*****MOTION CARRIED UNANIMOUSLY*****

Case 21-007-CU	1011 E Touhy Ave	Conditional Use
Case 21-008-CU	1628 Rand Rd	Conditional Use
Case 21-012-FPLAT-PUD-A	Various Addresses	Final Plat of Subdivision/PUD Amendment
Case 21-013-CU	1470-1476 Miner St	Conditional Use

May 11, 2021
Page 2

OLD BUSINESS

NEW BUSINESS

1. **Address:** 1011 E Touhy Ave

Case Number: 21-007-CU
Public Hearing

The petitioner is requesting a Conditional Use Amendment under Section 12-8-5(G) of the 1998 Des Plaines Zoning Ordinance, as amended, to expand the existing commercial mobile radio service facility at the subject property in the C-2 zoning district, and approval of any other such variations, waivers, and zoning relief as may be necessary.

PIN: 09-32-101-022-0000
Petitioner: Sheronica Chase, 10700 W. Higgins Road, Suite 240, Rosemont, IL 60018
Owner: Larry Goodman, ADM2, LLC, 999 E. Touhy Avenue, Suite 510, Des Plaines, IL 60018

Chairman Szabo swore in Sheronica Chase, petitioner for the case, via Zoom. Ms. Chase provided an overview of the request and explained that T-Mobile has existing equipment on the property, and the request is for a conditional use amendment to upgrade the current equipment. Ms. Chase stated that the new antennas are shorter than the current ones, and will not be visible from the street by the current screening.

Chairman Szabo asked if the Board had any questions.

Member Saletnik clarified that the antennas will be on the roof of the building at 1011 E Touhy, and not adding any additional height. Ms. Chase responded that the new equipment is in the same range, and there will be no change to visibility.

Chairman Szabo asked if there were any questions or comments from the audience. There were no comments or questions.

Chairman Szabo asked that the Staff Report be entered into record. Planner Stytz provided a summary of the following report:

Issue: The petitioner is requesting a Conditional Use under Section 12-7-3(F)(3) of the 1998 Des Plaines Zoning Ordinance, as amended, to allow for an expansion of an existing Commercial Mobile Radio Service Facility Use in the C-2 zoning district.

Analysis:
Address: 1011 E. Touhy Avenue

Owners: Larry Goodman, ADM, LLC, 999 E. Touhy Avenue, Suite 510, Des Plaines, IL 60018

Case 21-007-CU	1011 E Touhy Ave	Conditional Use
Case 21-008-CU	1628 Rand Rd	Conditional Use
Case 21-012-FPLAT-PUD-A	Various Addresses	Final Plat of Subdivision/PUD Amendment
Case 21-013-CU	1470-1476 Miner St	Conditional Use

May 11, 2021
Page 3

Petitioner: Sheronica Chase, T-Mobile, 10700 W. Higgins Road, Des Plaines, IL 60018

Case Number: 21-007-CU

Real Estate Index Number: 09-32-101-022-0000; -023

Ward: #5, Alderman Carla Brookman

Existing Zoning: C-2, Limited Office Commercial District

Existing Land Use: Multi-Tenant Commercial Building

Surrounding Zoning:
North: C-2, Limited Office Commercial District
South: M1, Limited Manufacturing/Business Park District (City of Chicago)
East: C-2, Limited Office Commercial District
West: M1, Limited Manufacturing/Business Park District (City of Chicago)

Surrounding Land Use:
North: Multi-tenant Office Building (Commercial)
South: Business Park (Industrial)
East: Hotel (Commercial)
West: Business Park (Industrial)

Street Classification: East Touhy Avenue is classified as a Principal Arterial and Lee Street is classified as a Minor Arterial.

Comprehensive Plan: The Comprehensive Plan designates this site as Commercial.

Project Description: __ The petitioner, Sheronica Chase on behalf of T-Mobile, has requested a Conditional Use Permit to expand an existing Commercial Mobile Radio Service Facility located on the roof of a multi-tenant office building at 1011 E. Touhy Avenue. The subject property is located within the C-2, Limited Office Commercial district and a roof-mounted Commercial Mobile Radio Service Facility is a conditional use with the C-2 zoning district. The subject property consists of two lots with a multi-tenant office building and a surface parking area as shown in the Plat of Survey. The subject property is located along East Touhy Avenue and Lee Street just north of the I-90 tollway. It is currently accessed by a service road off Lee Street with six curb cuts.

Case 21-007-CU	1011 E Touhy Ave	Conditional Use
Case 21-008-CU	1628 Rand Rd	Conditional Use
Case 21-012-FPLAT-PUD-A	Various Addresses	Final Plat of Subdivision/PUD Amendment
Case 21-013-CU	1470-1476 Miner St	Conditional Use

May 11, 2021

Page 4

The existing Commercial Mobile Radio Service Facility was originally approved through Ordinance Z-9-99 for AT&T Wireless Services, Inc. to install three sectors, one on the northeast, southeast, and southwest corners of the roof, totaling twelve antennas on the roof of the existing office building. On December 6, 2000, a Conditional Use Amendment was approved through Ordinance Z-26-00 for Sprint PCS to allow for the installation of three sectors, one on the southeast corner and two on the northwest corners of the roof, totaling twelve new antennas. The current Commercial Mobile Radio Service Facilities are identified on the Site Plan (Attachment 5). The petitioner wishes to modify the existing Commercial Mobile Radio Service Facility by upgrading existing antennas and adding new equipment on the northwest and southeast antenna sectors roof of the office building based on the Antenna Details. Please see the Project Narrative for more details. The modification of the existing Commercial Mobile Radio Service Facility requires an amendment to the current Conditional Use for the property located in the C-2 zoning district pursuant to Section 12-8-5(G) of the Des Plaines Zoning Ordinance.

Compliance with the Comprehensive Plan

The proposed project, including the proposed the site improvements, address various goals and objectives of the 2019 Comprehensive Plan including the following aspects:

- **Future Land Use Plan:**
 - This property is designated as Commercial on the Future Land Use Plan. The Future Land Use Plan strives to create a well-balanced development area with a healthy mixture of commercial uses. While the current use is commercial and the existing building contains multiple tenant spaces, the petitioner will work to enhance the coverage of the existing Commercial Mobile Radio Service Facility for the region and provide adequate screening of all antennas and related equipment to reduce any negative impacts.
 - The subject property is located along the defined Touhy Avenue commercial corridor with a multi-tenant office building to the north, commercial hotel to the east, and industrial business park and O'Hare Airport to the south. The subject property contains a multi-tenant building with a variety of different commercial uses and is located in between large, established commercial and industrial developments along Touhy Avenue and Lee Street. The request would assist in the improvement of existing communication facilities on site to improve coverage for users in the area.

While the aforementioned aspects represent a small portion of the goals and strategies of the Comprehensive Plan, there is a large emphasis on improving existing utility and communication facilities throughout Des Plaines.

Case 21-007-CU	1011 E Touhy Ave	Conditional Use
Case 21-008-CU	1628 Rand Rd	Conditional Use
Case 21-012-FPLAT-PUD-A	Various Addresses	Final Plat of Subdivision/PUD Amendment
Case 21-013-CU	1470-1476 Miner St	Conditional Use

May 11, 2021

Page 5

Conditional Use Findings: Conditional Use requests are subject to the standards set forth in Section 12-3-4(E) of the 1998 City of Des Plaines Zoning Ordinance, as amended. In reviewing these standards, staff has the following comments:

A. The proposed Conditional Use is in fact a Conditional Use established within the specific Zoning district involved:

Comment: A roof-mounted Commercial Mobile Radio Service Facility is a Conditional Use in the C-2, Limited Office Commercial District. Please see the petitioner's responses to Standards for Conditional Uses.

B. The proposed Conditional Use is in accordance with the objectives of the City's Comprehensive Plan:

Comment: The Comprehensive Plan strives to support the installation and improvement of communication, transportation, and utility facilities throughout the region. The proposal would provide necessary improvements to the existing Commercial Mobile Radio Service Facility to enhance coverage in the area and services to residents in the area. Please see the petitioner's responses to Standards for Conditional Uses.

C. The proposed Conditional Use is designed, constructed, operated and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity:

Comment: The existing Commercial Mobile Radio Service Facilities on the roof of the office building have been designed, constructed, operated, and maintained to be harmonious and appropriate in appearance with buildings on neighboring properties, as these types of facilities are located on buildings of similar size and appearance in Des Plaines. Additionally, these facilities have been screened to reduce the negative impact of the antennas and related equipment pursuant to design regulations in Section 12-8-5 of the Des Plaines Zoning Ordinance. Please see the petitioner's responses to Standards for Conditional Uses.

D. The proposed Conditional Use is not hazardous or disturbing to existing neighboring uses:

Comment: The existing Commercial Mobile Radio Service Facility is not hazardous and does not currently disturb neighboring properties since the facilities are located on top of the building, are screened from view from the street, and are operated without personnel. Since these facilities are typically accessed only for regular maintenance, repairs, and upgrades of equipment, the operation of the facilities do not have adverse effects on neighboring uses. Please see the petitioner's responses to Standards for Conditional Uses.

E. The proposed Conditional Use is to be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools; or, agencies responsible for establishing the Conditional Use shall provide adequately any such services:

Comment: The existing Commercial Mobile Radio Service Facility is currently served by adequate public facilities and services as there are currently six entrances to the subject property off Lee Street. The proposal would not change the existing public facilities and services. Please see the petitioner's responses

Case 21-007-CU	1011 E Touhy Ave	Conditional Use
Case 21-008-CU	1628 Rand Rd	Conditional Use
Case 21-012-FPLAT-PUD-A	Various Addresses	Final Plat of Subdivision/PUD Amendment
Case 21-013-CU	1470-1476 Miner St	Conditional Use

May 11, 2021

Page 6

to Standards for Conditional Uses.

F. The proposed Conditional Use does not create excessive additional requirements at public expense for public facilities and services and will not be detrimental to the economic well-being of the entire community:

Comment: The existing Commercial Mobile Radio Service Facility does not create excessive additional requirements at the public's expense, as it is installed on the existing building on the subject property and utilizes the same utilities and services already present on site. Please see the petitioner's responses to Standards for Conditional Uses.

G. The proposed Conditional Use does not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke fumes, glare or odors:

Comment: The existing Commercial Mobile Radio Service Facility is located on the roof of the existing multi-tenant office building and self-contained to minimize any excessive production of noise, smoke fumes, glare, and odors. These existing facilities do not have any impact on traffic of the existing site. Please see the petitioner's responses to Standards for Conditional Uses.

H. The proposed Conditional Use provides vehicular access to the property designed so that it does not create an interference with traffic on surrounding public thoroughfares:

Comment: The existing Commercial Mobile Radio Service Facility does not have any impact of vehicular access to the subject property since the facilities are installed on the roof of the building. The proposal will not affect any existing vehicular access to the site. Please see the petitioner's responses to Standards for Conditional Uses.

I. The proposed Conditional Use does not result in the destruction, loss, or damage of natural, scenic, or historic features of major importance:

Comment: The subject property is already developed with a multi-tenant office building and the existing Commercial Mobile Radio Service Facilities. Thus, the proposal will not result in the destruction, loss, or damage of natural, scenic, or historic features of major importance. Please see the petitioner's responses to Standards for Conditional Uses.

J. The proposed Conditional Use complies with all additional regulations in the Zoning Ordinance specific to the Conditional Use requested:

Comment: The existing Commercial Mobile Radio Service Facility complies with all additional regulations of the Zoning Ordinance. The proposal will also meet all other regulations in the Zoning Ordinance. Please see the petitioner's responses to Standards for Conditional Uses.

Recommendation: Staff recommends approval of the Conditional Use Permit for the modification of an existing Commercial Mobile Radio Service Facility at 1011 E. Touhy Avenue based on a review of the information presented by the applicant and the findings made above, as specified in Section 12-3-4(E)

Case 21-007-CU	1011 E Touhy Ave	Conditional Use
Case 21-008-CU	1628 Rand Rd	Conditional Use
Case 21-012-FPLAT-PUD-A	Various Addresses	Final Plat of Subdivision/PUD Amendment
Case 21-013-CU	1470-1476 Miner St	Conditional Use

May 11, 2021

Page 7

(Standards for Conditional Uses) of the City of Des Plaines Zoning Ordinance with the condition that drawings may have to be amended to comply with all applicable codes and regulations.

Planning and Zoning Board Procedure: Under Section 12-3-4(D) (Procedure for Review and Decision for Conditional Uses) of the Zoning Ordinance, the Planning and Zoning Board has the authority to *recommend* that the City Council approve, approve subject to conditions, or deny the above-mentioned conditional use amendment for the modification of an existing Commercial Mobile Radio Service Facility at 1011 E. Touhy Avenue. The City Council has final authority on the proposal.

A motion was made by Board Member Hofherr, seconded by Board Member Saletnik, to recommend approval of the a Conditional Use Amendment under Section 12-8-5(G) of the 1998 Des Plaines Zoning Ordinance, as amended, to expand the existing commercial mobile radio service facility at the subject property in the C-2 zoning district, with the one condition, as presented:

AYES: Hofherr, Saletnik, Fowler, Vermis, Szabo

NAYES: None

ABSTAIN: None

*****MOTION CARRIED UNANIMOUSLY*****

Case 21-007-CU	1011 E Touhy Ave	Conditional Use
Case 21-008-CU	1628 Rand Rd	Conditional Use
Case 21-012-FPLAT-PUD-A	Various Addresses	Final Plat of Subdivision/PUD Amendment
Case 21-013-CU	1470-1476 Miner St	Conditional Use

May 11, 2021

Page 8

2. **Address:** 1628 Rand Rd

Case Number: 21-008-CU

Public Hearing

T The petitioner is requesting a Conditional Use under Section 12-7-3(K) of the 1998 Des Plaines Zoning Ordinance, as amended, to allow a trade contractor use in the C-3 zoning district, and approval of any other such variations, waivers, and zoning relief as may be necessary.

PIN: 09-16-104-022-0000

Petitioner: Art Investment, 2020 Berry Lane, Des Plaines, IL 60018

Owner: Elliott Kratz, 2401 North Janssen Avenue, Unit 301, Chicago, IL 60614

Chairman Szabo swore in Urszula Topolewick of 2020 Berry Lane, Des Plaines, IL 60018, representing the Petitioner.

Ms. Topolewick provided an overview of the request; she stated the request is for a granite sales establishment, with a showroom, a warehouse, and a shop, which includes a space for cutting and polishing the granite. Ms. Topolewick stated that all of these actions would take place inside, on site.

Chairman Szabo asked if there were any questions or concerns from neighbors. The Petitioner did not have any questions from neighbors and staff did not receive and comments from the Public Notice.

Chairman Szabo asked if the Board had any questions.

Member Veremis stated the location seems ideal for her type of business, Ms. Veremis asked about the status of the current parking lot. The Petitioner stated that the parking lot would be repaired, once the conditional use was approved. The Petitioner has a question regarding a fence that will be addressed at the building permit level.

Chairman Szabo went over the conditions of the request. The conditions are as follows:

1. The petitioner shall revise the Site Plan/Floor Plan to include landscape details in conformance with Section 12-10 of the Zoning Ordinance within 60 days of City Council approval.
2. That an eight foot tall wood privacy fence is installed along the north property line in conformance with Section 12-8-2 of the Zoning Ordinance within 60 days of City Council approval.
3. No vehicles or materials shall be stored within the required drive aisles or customer parking spaces at any time.
4. No outside storage of raw materials or fabricated goods permitted on site.

Chairman Szabo asked if were any questions or concerns form the public. There were no questions.

Case 21-007-CU	1011 E Touhy Ave	Conditional Use
Case 21-008-CU	1628 Rand Rd	Conditional Use
Case 21-012-FPLAT-PUD-A	Various Addresses	Final Plat of Subdivision/PUD Amendment
Case 21-013-CU	1470-1476 Miner St	Conditional Use

May 11, 2021

Page 9

Chairman Szabo asked that the Staff Report be entered into record. Planner Stytz provided a summary of the following report:

Issue: The petitioner is requesting a Conditional Use under Section 12-7-3(K)(3) of the 1998 Des Plaines Zoning Ordinance, as amended, to allow a Trade Contractor use in the C-3 zoning district at 1628 Rand Road.

Analysis:

Address: 1628 Rand Road

Owners: Elliott Katz, 2401 N. Janssen Avenue, Unit 301, Chicago, IL 60018

Petitioner: Peter Topolewick, 2020 Berry Lane, Des Plaines, IL 60018

Case Number: 21-008-CU

Real Estate Index

Number: 09-16-104-022-0000

Ward: #1, Alderman Mark A. Lysakowski

Existing Zoning: C-3, General Commercial District

Existing Land Use: Vacant Building

Surrounding Zoning: North: R-1, Single Family Residential District
 South: C-3, General Commercial District
 East: C-1, Neighborhood Shopping District
 West: C-3, General Commercial District

Surrounding Land Use: North: Single Family Residences
 South: Columbus Foods & Liquors (Commercial)
 East: Apartment Building (Residential)
 West: Our Lady of Fatima Center (Commercial)

Street Classification: Rand Road is classified as a Minor Arterial road and Grove Avenue is classified as a Local street.

Comprehensive Plan: The Comprehensive Plan designates this site as Commercial.

Project Description: The petitioner, Peter Topolewick, owner and operator of House of Granite and Marble Co., has requested a Conditional Use Permit to for a Trade Contractor use, at 1628 Rand Road. The subject property is located within the C-3, General Commercial district and a Trade

Case 21-007-CU	1011 E Touhy Ave	Conditional Use
Case 21-008-CU	1628 Rand Rd	Conditional Use
Case 21-012-FPLAT-PUD-A	Various Addresses	Final Plat of Subdivision/PUD Amendment
Case 21-013-CU	1470-1476 Miner St	Conditional Use

May 11, 2021
Page 10

Contractor is a conditional use in the C-3 zoning district. The subject property contains a single-tenant building with an off-street surface parking area on the west side of the property and on-street parking area along Grove Avenue on the east side of the property as shown in the Plat of Survey. The subject property is located along Rand Road at the northwest corner of the Rand Road/Grove Lane intersection. The subject property is currently accessed by three curb cuts, two off Rand Road and one off Grove Lane.

The existing one-story, 14,604-square foot building consists with a front customer entrance in the front and a separate shop area in the rear. The petitioner wishes to utilize the front portion of the building as an office/showroom area and the rear portions of the building as a material warehouse and fabrication room based on the Site Plan/Floor Plan. The petitioner's proposal does not include any changes to the building. However, the petitioner does plan to add landscaping in front of the building and along Rand Road. Staff has added a condition that the Landscape Plan will be updated to provide landscape details proposed for the subject property. The dumpster for this suite will be stored in the northwest corner of the site in compliance with Section 12-10-11 of the Des Plaines Zoning Ordinance.

The proposed Floor Plan includes a 2,000-square foot office/showroom space and 12,604-square foot warehouse space. The following parking regulations apply to this request pursuant to Section 12-9-7 of the Des Plaines zoning Ordinance:

- One parking space for every 250 square feet of gross floor area for office spaces; and
- One parking space for every 1,500 square feet of gross floor area for warehouse space.

Thus, a total of 17 off-street parking spaces are required including one handicap accessible parking space (2,000-square feet of office space / 2500-square feet; and 12,604-square feet / 1,500-square feet = 17 parking spaces). The Site Plan/floor Plan proposes 17 total parking spaces on the property, including a handicap accessible space, which meets this requirement.

House of Granite and Marble Co will be open on Monday through Saturday from 8:30 pm to 6:00 pm. The warehouse portion of the building will be open Monday through Saturday from 7:15 am to 6 pm. Their services will include the sale, fabrication, and installation of stone, granite, quartz, kitchen cabinets, sinks, faucets, counter tops, vanities, and shower glass. A maximum of twelve employees will be on site at a given time. Please see the Project Narrative (Attachment 1) for more details.

Compliance with the Comprehensive Plan

The proposed project, including the proposed the site improvements, address various goals and objectives of the 2019 Comprehensive Plan including the following aspects:

Case 21-007-CU	1011 E Touhy Ave	Conditional Use
Case 21-008-CU	1628 Rand Rd	Conditional Use
Case 21-012-FPLAT-PUD-A	Various Addresses	Final Plat of Subdivision/PUD Amendment
Case 21-013-CU	1470-1476 Miner St	Conditional Use

May 11, 2021

Page 11

Future Land Use Plan:

- This property is designated as Commercial on the Future Land Use Plan. The Future Land Use Plan strives to create a well-balanced development area with a healthy mixture of commercial uses. While the current use is commercial, the petitioner will work to enhance the subject property by renovating the existing building and installing landscaping along Rand Road and the front of the building. All activities and items stored will be inside to reduce any negative impacts.
- The subject property is located along the defined Rand Road commercial corridor with single-family residences to the north, multi-family residences to the east, and commercial development to the south and the west. The subject property contains a single-tenant building located in between established commercial developments along Rand Road. The request would assist in the retention of a new commercial business at this location and provide additional retail goods and services for the residents of Des Plaines.

- **Landscaping and Screening:**

- The Comprehensive Plan seeks to encourage and actively pursue beautification opportunities and efforts, including the installation of landscaping, street furniture, lighting, and other amenities, to establish a more attractive shopping environment and achieve stronger corridor identity in Des Plaines.
- The existing site does not contain landscaping. However, the proposal seeks to add perimeter parking lot landscaping along Rand Road and foundation landscaping along the building where applicable to improve the aesthetics of the site.

While the aforementioned aspects represent a small portion of the goals and strategies of the Comprehensive Plan, there is a large emphasis on improving existing commercial developments and enhancing commercial corridors throughout Des Plaines.

Conditional Use Findings: Conditional Use requests are subject to the standards set forth in Section 12-3-4(E) of the 1998 City of Des Plaines Zoning Ordinance, as amended. In reviewing these standards, staff has the following comments:

A. The proposed Conditional Use is in fact a Conditional Use established within the specific Zoning district involved:

Comment: The proposed use is classified as a Trade Contractor use. A Trade Contractor is a Conditional Use in the C-3 zoning district. Please see the petitioner’s responses to Standards for Conditional Uses.

B. The proposed Conditional Use is in accordance with the objectives of the City’s Comprehensive Plan:

Comment: The proposed Trade Contractor use assists in providing a service-oriented use that primarily serve day-to-day needs of local residents by increasing commercial opportunities for residents in Des Plaines. Additionally, the subject property is located near the Mannheim Road commercial corridor,

Case 21-007-CU	1011 E Touhy Ave	Conditional Use
Case 21-008-CU	1628 Rand Rd	Conditional Use
Case 21-012-FPLAT-PUD-A	Various Addresses	Final Plat of Subdivision/PUD Amendment
Case 21-013-CU	1470-1476 Miner St	Conditional Use

May 11, 2021
Page 12

which is identified as a major corridor in Des Plaines. Please see the petitioner's responses to Standards for Conditional Uses.

C. The proposed Conditional Use is designed, constructed, operated and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity:

Comment: The proposed Trade Contractor use is designed, constructed, operated, and maintained to be harmonious and appropriate in appearance to surrounding commercial uses as the new business will transform the existing vacant building into a new commercial use. The proposal includes enhancements to the site as a whole including an interior building remodel, the addition of landscaping, and improvements to the parking area. Please see the petitioner's responses to Standards for Conditional Uses.

D. The proposed Conditional Use is not hazardous or disturbing to existing neighboring uses:

Comment: The proposed Trade Contractor use will be not hazardous or distributing to neighboring uses as all activities, including the fabrication of materials, will take place inside the building. The proposal will include landscaping and screening to minimize the impact of the proposed use on neighboring residences to the north and east. Please see the petitioner's responses to Standards for Conditional Uses.

E. The proposed Conditional Use is to be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools; or, agencies responsible for establishing the Conditional Use shall provide adequately any such services:

Comment: The subject property is served adequately by essential public facilities and services since it is currently accessible by two streets and three total curb cuts as well as necessary public utilities. The proposed Trade Contractor use will not affect the existing public facilities and services for this property. Please see the petitioner's responses to Standards for Conditional Uses.

H. The proposed Conditional Use does not create excessive additional requirements at public expense for public facilities and services and will not be detrimental to the economic well-being of the entire community:

Comment: The proposed Trade Contractor use will not create excessive additional requirements at the public expense and will not be detrimental to economic well-being of the community as it will transform a vacant building into a new asset for the City of Des Plaines and can help improve the local economy. Please see the petitioner's responses to Standards for Conditional Uses.

I. The proposed Conditional Use does not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke fumes, glare or odors:

Case 21-007-CU	1011 E Touhy Ave	Conditional Use
Case 21-008-CU	1628 Rand Rd	Conditional Use
Case 21-012-FPLAT-PUD-A	Various Addresses	Final Plat of Subdivision/PUD Amendment
Case 21-013-CU	1470-1476 Miner St	Conditional Use

May 11, 2021
Page 13

Comment: The proposed Trade Contractor use will include the fabrication of materials on site. However, all activities will take place inside the building and appropriate screening will be provided to minimize any excessive production of noise, smoke fumes, glare, or odors. The site will be enhanced to avoid any negative impacts to traffic in the area and ingress/egress of the site. Please see the petitioner’s responses to Standards for Conditional Uses.

H. The proposed Conditional Use provides vehicular access to the property designed so that it does not create an interference with traffic on surrounding public thoroughfares:

Comment: The subject property does not create interference with traffic in the area with the existing access points and configuration. The proposed Trade Contractor use does not intend to alter these access points or the overall configuration of the site. Please see the petitioner’s responses to Standards for Conditional Uses.

J. The proposed Conditional Use does not result in the destruction, loss, or damage of natural, scenic, or historic features of major importance:

Comment: The subject property is currently developed and improved with a building and surface parking area. The proposed Trade Contractor use will not lead to the loss or damage of natural, scenic, or historic features of major importance on this property. Please see the petitioner’s responses to Standards for Conditional Uses.

K. The proposed Conditional Use complies with all additional regulations in the Zoning Ordinance specific to the Conditional Use requested:

Comment: The proposed Trade Contractor use will comply with all additional regulations of the zoning Ordinance. Please see the petitioner’s responses to Standards for Conditional Uses.

Recommendation: Staff recommends approval of the Conditional Use Permit for a Trade Contractor use at 1628 Rand Road based on a review of the information presented by the applicant and the findings made above, as specified in Section 12-3-4(E) (Standards for Conditional Uses) of the City of Des Plaines Zoning Ordinance with the following conditions:

1. The petitioner shall revise the Site Plan/Floor Plan to include landscape details in conformance with Section 12-10 of the Zoning Ordinance within 60 days of City Council approval.
2. That an eight foot tall wood privacy fence is installed along the north property line in conformance with Section 12-8-2 of the Zoning Ordinance within 60 days of City Council approval.
3. No vehicles or materials shall be stored within the required drive aisles or customer parking spaces at any time.
4. No outside storage of raw materials or fabricated goods permitted on site.

Case 21-007-CU	1011 E Touhy Ave	Conditional Use
Case 21-008-CU	1628 Rand Rd	Conditional Use
Case 21-012-FPLAT-PUD-A	Various Addresses	Final Plat of Subdivision/PUD Amendment
Case 21-013-CU	1470-1476 Miner St	Conditional Use

May 11, 2021

Page 14

Planning and Zoning Board Procedure: Under Section 12-3-4(D) (Procedure for Review and Decision for Conditional Uses) of the Zoning Ordinance, the Planning and Zoning Board has the authority to *recommend* that the City Council approve, approve subject to conditions, or deny the above-mentioned conditional use for a Trade Contractor use at 1628 Rand Road. The City Council has final authority on the proposal.

A motion was made by Board Member Fowler, seconded by Board Member Hofherr, to recommend approval of a Conditional Use under Section 12-7-3(K)(3) of the 1998 Des Plaines Zoning Ordinance, as amended, to allow a Trade Contractor use in the C-3 zoning district at 1628 Rand Road, with the four conditions, as presented:

AYES: Fowler, Hofherr, Saletnik, Veremis, Szabo

NAYES: None

ABSTAIN: None

*****MOTION CARRIED UNANIMOUSLY*****

Case 21-007-CU	1011 E Touhy Ave	Conditional Use
Case 21-008-CU	1628 Rand Rd	Conditional Use
Case 21-012-FPLAT-PUD-A	Various Addresses	Final Plat of Subdivision/PUD Amendment
Case 21-013-CU	1470-1476 Miner St	Conditional Use

May 11, 2021
Page 15

3. **Address:** 510 & 518 Metropolitan Way, 1440-1472 Market Street, and 1506-1524 Market Street

Case Number: 21-012-FPLAT-PUD-A
Public Hearing

The petitioner is requesting the following items: (i) a Final Plat of Subdivision under Section 13-2-5 of the Subdivision Regulations to resubdivide a portion of the existing Metropolitan Square Planned Unit Development (PUD) into three lots; and (ii) an amendment to an existing PUD pursuant to Section 12-3-5 of the Des Plaines Zoning Ordinance, as amended, and the approval of any other such variations, waivers, and zoning relief as may be necessary.

PINs: 09-17-411-015-0000; 09-17-411-016-0000; 09-17-414-021-0000
Petitioner: T Metro Square IL, LLC, 16600 Dallas Parkway, Suite 300, Dallas, TX 75248
Owner: T Metro Square IL, LLC, 16600 Dallas Parkway, Suite 300, Dallas, TX 75248

Chairman Szabo swore in the following individuals via Zoom: Steve Bauer, attorney for applicant of 300 S. Wacker Dr. Suite 3500, Chicago, IL and Dan Joyce, property manager for Metropolitan Square, via Zoom.

Mr. Bauer stated this item is a housekeeping matter for the final plat of subdivision and final plat. Mr. Bauer went over the plat and the plan to subdivide the property into three lots. Mr. Bauer stated that the shopping center will act and maintain the same; nothing changes to the property besides creating lots. Mr. Bauer stated that he reviewed the staff report with the one condition that revisions may be required based on additional review, Mr. McMahon stated that any changes needed to the plat typically happen when the plat is to be recorded, the ordinance will a provision for any adjustments to the plat needed for technical matters.

Chairman Szabo asked if there were any questions from the Board.

Member Fowler inquired about 636 River and if it was included in the subdivision. Mr. Bauer stated that the building is not owner by T Metro Square IL LLC and not part of the property.

Member Veremis asked if the subdivision would help to populate the empty storefronts, Mr. Bauer stated that this change is net neutral and would not harm or help the property.

Chairman Szabo asked that the Staff Report be entered into record. Planner Stytz provided a summary of the following report:

Issue: The petitioner is requesting a Planned Unit Development Amendment under Section 12-3-5(G) of the Des Plaines Zoning Ordinance, and a Final Plat of Subdivision under Section 13-2 of Subdivision Regulations of the City of Des Plaines Municipal Code, to re-subdivide the Metropolitan Square Planned Unit Development.

Case 21-007-CU	1011 E Touhy Ave	Conditional Use
Case 21-008-CU	1628 Rand Rd	Conditional Use
Case 21-012-FPLAT-PUD-A	Various Addresses	Final Plat of Subdivision/PUD Amendment
Case 21-013-CU	1470-1476 Miner St	Conditional Use

May 11, 2021
Page 16

Analysis:

Address: 510 & 518 Metropolitan Way, 1440-1472 Market Street, and 1506-1524 Market Street

Owners: T Metro Square IL, LLC, 16600 Dallas Parkway, Suite 300, Dallas, TX 75248

Petitioner: T Metro Square IL, LLC, 16600 Dallas Parkway, Suite 300, Dallas, TX 75248

Case Number: 21-012-FPLAT-PUD-A

Real Estate Index Numbers: 09-17-411-015-0000; 09-17-411-016-0000; 09-17-414-021-0000

Ward: #1, Alderman Mark Lysakowski

Existing Zoning: C-5, Central Business District

Existing Land Use: Commercial

Surrounding Zoning: North: C-3, General Commercial District
South: C-5, Central Business District
East: R-4, Central Core Residential District/C-5, Central Business District
West: R-4, Central Core Residential District/C-3 General Commercial District

Surrounding Land Use: North: Commercial
South: Commercial
East: Commercial; Multi-Family Residential
West: Commercial; Multi-Family Residential

Street Classification: Lee Street is classified as an Other Principal Arterial, River Road is classified as a Minor Arterial, and Perry Street is classified as a Local Street.

Comprehensive Plan: The Comprehensive Plan designates the site as Higher Density Urban Mix with Residential.

Final Planned Unit Development

Project Description:

The petitioner, T-Metro Square IL, LLC, has requested the following items: (i) a Final Plat of Subdivision to consolidate Lot A in Metropolitan Square Phase 1 with a portion of Lot E in Metropolitan Square Phase 1A, resubdivide Lot A into Lots 1 and 3, and designate a portion of said Lot E as Lot 2; and (ii) amend the existing Planned Unit Development (PUD) for Metropolitan Square to depict the new lot lines. The addresses included in this request are 510 and 518 Metropolitan Way, 1440-1472 Market Street, and 1506-1524 Market Street, which are all located within the C-5, Central Business district.

Case 21-007-CU	1011 E Touhy Ave	Conditional Use
Case 21-008-CU	1628 Rand Rd	Conditional Use
Case 21-012-FPLAT-PUD-A	Various Addresses	Final Plat of Subdivision/PUD Amendment
Case 21-013-CU	1470-1476 Miner St	Conditional Use

May 11, 2021
Page 17

The Metropolitan Square development began on July 21, 2003 through the approval of Resolution R-89-03, which authorized the execution of the “Redevelopment Agreement” between TDC & JFA Des Plaines, LLC and the City of Des Plaines for the Downtown Redevelopment Project. On April 21, 2004, Ordinances Z-14-04 and Z-15-04 were passed allowing a map amendment from C-3 to C-5 and final approval for a Planned Unit Development for the Downtown Redevelopment Project—referred to as the Metropolitan Square Downtown Redevelopment—respectively (Case #03-42-PUD-A). On July 12, 2004, Ordinance Z-30-04 was passed granting a conditional use for a Localized Alternative Sign Regulation (LASR) within a C-3 and C-5 zoning district at 551 Lee Street (Case #04-10-CU-LASR). The Jefferson Street right-of-way, Park Place right-of-way, and certain portions of alleys were vacated through the approval of Ordinance M-21-05 on May 2, 2005. Resolution R-13-06 was approved on February 6, 2006 authorizing the execution of the first amendment to the “Redevelopment Agreement” and granting the map amendment request from C-3 to C-5 zoning.

The proposed requests constitute a major change to the existing PUD pursuant to Section 12-3-5(G) requiring a PUD amendment. The subject properties included in this request consist of 3.46 acres in size, which are currently improved with a grocery store, two multi-unit shopping center buildings, a bank, and a multiple surface parking areas as shown in the Plat of Survey (Attachment 4). The subject properties abut Lee Street, Perry Street, River Road, and Market Street and are currently accessed by multiple curb-cuts on Perry Street and River Road. The proposal intends to provide a separate lot for the bank property and designate a portion of Lot E, which includes the existing Metropolitan Square multi-tenant pole sign, as Lot A. However, the petitioner does not propose to change the size of the existing PUD.

Final Plat of Subdivision

Project Description

The petitioner has submitted a revised Final Plat of Subdivision in order to re-subdivide the existing lots into three lots to reflect the change in scope for the redevelopment of this property. The proposed new lot configuration is below:

Final Plat of Subdivision - Lot Matrix

Proposed Lot Number	Proposed/Existing Use	Proposed Land Area	Proposed Acreage
Lot 1	Existing Shopping Center & Grocery Store	140,239 SF	3.219
Lot 2	Multi-tenant Pole Sign	177 SF	0.004
Lot 3	Existing Bank	13,115 SF	0.301

A description of each proposed lot is as follows:

Case 21-007-CU	1011 E Touhy Ave	Conditional Use
Case 21-008-CU	1628 Rand Rd	Conditional Use
Case 21-012-FPLAT-PUD-A	Various Addresses	Final Plat of Subdivision/PUD Amendment
Case 21-013-CU	1470-1476 Miner St	Conditional Use

May 11, 2021
Page 18

Lot 1 – The existing Lot A including the existing shopping center buildings and grocery store will be extended into include a portion of Lot E, which contains an existing multi-tenant pole sign.

Lot 2 – This lot encompasses the existing multi-tenant pole sign.

Lot 3 – This lot encompasses the existing bank building.

Compliance with the Comprehensive Plan

There are several parts of the newly adopted Comprehensive Plan that align with the proposed project. Those portions are as follows:

- Under Future Land Use Map:
 - The property is marked for Higher Density Urban Mix with Residential land uses. The Future Land Use Plan strives to create a well-balanced development area with a healthy mixture of commercial and residential uses in the Downtown area. The current use is commercial and the petitioner proposes to retain the existing high density commercial development located on the subject properties. The proposed resubdivision will help clean-up the existing PUD by creating specific lots for the bank building and multi-tenant pole sign.
 - The subject property is located in downtown Des Plaines along the defined Lee Street and River Road commercial corridors with high density commercial and residential development. The request would assist in better defining different uses within the existing PUD and retention of existing commercial businesses and residences at this location.

While the aforementioned bullet points are only a small portion of the Comprehensive Plan, there is a large emphasis on developing and enhancing our commercial corridors and mixed use developments. The applicant is proposing to resubdivide the existing PUD to improve the design and function of the existing uses in downtown Des Plaines.

Planned Unit Development (PUD) Findings

As required, the proposed development is reviewed in terms of the findings contained in Section 3-5-5 of the Zoning Ordinance. In reviewing these standards, staff has the following comments:

A. The extent to which the Proposed Plan is or is not consistent with the stated purpose of the PUD regulations in Section 12-3-5-1 and is a stated Conditional Use in the subject zoning district:

Comment: A PUD is a listed conditional use in the C-5 zoning district. The existing PUD meets the stated purpose of the PUD. Additionally, the proposed resubdivision of the subject parcels will enhance the neighboring area, but also be cognizant of nearby land uses. Please also see the responses from the applicant.

B. The extent to which the proposed plan meets the prerequisites and standards of the planned unit development regulations:

Case 21-007-CU	1011 E Touhy Ave	Conditional Use
Case 21-008-CU	1628 Rand Rd	Conditional Use
Case 21-012-FPLAT-PUD-A	Various Addresses	Final Plat of Subdivision/PUD Amendment
Case 21-013-CU	1470-1476 Miner St	Conditional Use

May 11, 2021

Page 19

Comment: The existing PUD will be in-keeping with the City’s prerequisites and standards regarding planned unit development regulations. Please also see the responses from the applicant.

C. The extent to which the proposed plan departs from the applicable zoning and subdivision regulations otherwise applicable to the subject property, including, but not limited to the density, dimension, area, bulk, and use and the reasons why such departures are or are not deemed to be in the public interest:

Comment: The existing PUD is in-line with the intent of a PUD as it contains higher density development and a Localized Alternative Sign Regulation for multiple building and freestanding signage. Aside from this, all other aspects of the revised development proposal comply with the Zoning Ordinance. Please also see the responses from the applicant.

D. The extent to which the physical design of the proposed development does or does not make adequate provision for public services, provide adequate control of vehicular traffic, provide for, protect open space, and further the amenities of light and air, recreation and visual enjoyment:

Comment: All provisions for public services, adequate traffic control and the protection of open space are being accommodated in the development. The petitioner is not proposing any changes to existing access points or circulation of the subject properties. Please also see the responses from the applicant.

E. The extent to which the relationship and compatibility of the proposed development is beneficial or adverse to adjacent properties and neighborhood:

Comment: The existing PUD complements existing development to the east, west and south as all surrounding properties, are built up with higher density commercial and residential development. Additionally, the existing PUD includes aspects that reduce any impact on the nearby properties as all elements will have to comply with the Des Plaines Subdivision and Zoning Ordinances, which will not change with the proposed resubdivision and PUD amendment request.

F. The extent to which the proposed plan is not desirable to physical development, tax base and economic well-being of the entire community:

Comment: The existing PUD contributes to an improved physical appearance within the City by providing several commercial services and residential uses for residents in Des Plaines, which contributes positively to the tax base and economic well-being of the community. The proposed resubdivision and PUD amendment request will not change the impact that the Metropolitan Square PUD has on the Downtown area and the City of Des Plaines as a whole. Please also see the responses from the applicant.

G. The extent to which the proposed plan is in conformity with the recommendations of the 2019 Comprehensive Plan:

Comment: The proposed development meets the goals, objectives and recommendations of the 2019 Comprehensive Plan. Please also see the responses from the applicant.

Case 21-007-CU	1011 E Touhy Ave	Conditional Use
Case 21-008-CU	1628 Rand Rd	Conditional Use
Case 21-012-FPLAT-PUD-A	Various Addresses	Final Plat of Subdivision/PUD Amendment
Case 21-013-CU	1470-1476 Miner St	Conditional Use

May 11, 2021
Page 20

Recommendation: I recommend approval of Final Plat of Subdivision pursuant to 13-2 of the Des Plaines Subdivision Ordinance to resubdivide the existing PUD into three lots of record and amend the existing PUD in the C-5 zoning district at 510 & 518 Metropolitan Way, 1440-1472 Market Street, and 1506-1524 Market Street with the condition that drawings may have to be amended to comply with all applicable codes and regulations.

Planning and Zoning Board Procedure: Under Section 13-2-7 (Approval of Final Plat By Planning and Zoning Board) of the Subdivision Ordinance and Section 12-3-5(D)(5) (Approval of Final Plat for Planned Unit Developments), the Planning and Zoning Board has the authority to *recommend* that the City Council approve, approve subject to conditions, or deny the above-mentioned Final Plat of Subdivision and PUD amendment requests for the Metropolitan Square PUD. The City Council has final authority over the proposal.

A motion was made by Board Member Saletnik, seconded by Board Member Veremis to approve the (i) a Final Plat of Subdivision under Section 13-2-5 of the Subdivision Regulations to resubdivide a portion of the existing Metropolitan Square Planned Unit Development (PUD) into three lots; and (ii) an amendment to an existing PUD pursuant to Section 12-3-5 of the Des Plaines Zoning Ordinance, with the one condition, as presented.

AYES: Saletnik, Veremis, Fowler, Hofherr, Szabo

NAYES: None

ABSTAIN: None

*****MOTION CARRIES *****

Case 21-007-CU	1011 E Touhy Ave	Conditional Use
Case 21-008-CU	1628 Rand Rd	Conditional Use
Case 21-012-FPLAT-PUD-A	Various Addresses	Final Plat of Subdivision/PUD Amendment
Case 21-013-CU	1470-1476 Miner St	Conditional Use

May 11, 2021

Page 21

4. **Addresses:** 1470-1476 Miner Street

Case Number: 21-013-CU

Public Hearing

The petitioner is requesting a Conditional Use under Section 12-7-3(K) of the 1998 Des Plaines Zoning Ordinance, as amended, to allow a commercially-zoned assembly use for a theatre in the C-5 zoning district, and approval of any other such variations, waivers, and zoning relief as may be necessary.

PIN: 09-17-415-010-0000

Petitioner: City of Des Plaines, 1420 Miner Street, Des Plaines, IL 60016

Owner: City of Des Plaines, 1420 Miner Street, Des Plaines, IL 60016

Chairman Szabo swore in Director Michael McMahon, City of Des Plaines, who provided an overview of the request and staff report. Mr. McMahon stated that the request was for an assembly use (theater) in a commercially zone property.

Mr. McMahon stated that the theater has been dark for approximately ten years and the City has been working throughout the past few years to get the theater up and running. City work on the theater should be completed in June, the property will then be turned over to Mr. Ron Onesti for additional buildout. Optimistically, the theater should receive occupancy in August along with the state of Illinois entering Phase 5 of the Restoration Plan.

Mr. McMahon stated that the theater would meet the parking requirements with a mix of off-street parking, the Metropolitan Square parking garage and the new Municipal parking garage.

Member Hofherr inquired about the number of employees, Mr. McMahon stated that Mr. Onesti expects as many as 50 employees, including kitchen staff, front of house, valet, theater employees, etc.

Member Hofherr inquired about the showing of movies, Mr. McMahon stated that the original plan was to install a roll down screen to view films, however, he was unsure if that was still part of the current construction plans.

Member Fowler asked about elevators. Mr. McMahon stated that elevators were installed from the kitchen (basement) to the second floor, an additional dumbwaiter was also installed for the ease of food transport.

Chairman Szabo inquired about the Municipal parking garage, Mr. McMahon stated the garage will have public parking after a certain time of day (5:00 pm or 6:00 pm). Police vehicles will have secured access and underground parking.

Member Veremis asked if booking for the theater has started. Mr. McMahon stated that booking for the theater has not begun and will be handled by Mr. Onesti. Mr. Onesti was originally a consultant for the City, but will also be managing the theater and booking through his contacts.

Member Saletnik wanted to congratulate the City on a job well done.

Case 21-007-CU	1011 E Touhy Ave	Conditional Use
Case 21-008-CU	1628 Rand Rd	Conditional Use
Case 21-012-FPLAT-PUD-A	Various Addresses	Final Plat of Subdivision/PUD Amendment
Case 21-013-CU	1470-1476 Miner St	Conditional Use

May 11, 2021
Page 22

Issue: The petitioner is requesting a Conditional Use under Section 12-7-3(K)(3) of the 1998 Des Plaines Zoning Ordinance, as amended, to allow a Commercially Zoned Assembly use in the C-5 zoning district at 1470-1476 Miner Street.

Analysis:

Address: 1470-1476 Miner Street

Owners: City of Des Plaines, 1420 Miner Street, Des Plaines, IL 60018

Petitioner: City of Des Plaines, 1420 Miner Street, Des Plaines, IL 60018

Case Number: 21-013-CU

Real Estate Index Number: 09-17-415-010-0000

Ward: #1, Alderman Mark A. Lysakowski

Existing Zoning: C-5, Central Business District

Existing Land Use: Des Plaines Theater

Surrounding Zoning:
 North: C-5, Central Business District
 South: C-5, Central Business District
 East: C-5, Central Business District
 West: C-5, Central Business District

Surrounding Land Use:
 North: Metropolitan Square (Commercial)
 South: Retail Store/Cleaners/Physical Therapy Office (Commercial)
 East: Law Office (Commercial)
 West: Bakery/Insurance Agency/Salon (Commercial)

Street Classification: Miner Street is classified as a Minor Arterial and Lee Street is classified as an Other Principal Arterial.

Comprehensive Plan: The Comprehensive Plan designates this site as Higher Density Urban Mix with Residential.

Project Description: ___ The petitioner, City of Des Plaines, has requested a Conditional Use Permit to operate a Commercially Zoned Assembly use, Des Plaines Theater, at 1470-1476 Miner Street. The subject property is located within the C-5, Central Business district and a Commercially Zoned Assembly use is a conditional use in the C-5 zoning district. The subject

Case 21-007-CU	1011 E Touhy Ave	Conditional Use
Case 21-008-CU	1628 Rand Rd	Conditional Use
Case 21-012-FPLAT-PUD-A	Various Addresses	Final Plat of Subdivision/PUD Amendment
Case 21-013-CU	1470-1476 Miner St	Conditional Use

May 11, 2021
Page 23

property contains a two-story building with on-street parking in the front, accessory parking area at the rear, and access to additional off-street covered parking in the Metropolitan Square garage located north of the subject property as shown in the Plat of Survey. The subject property is located along Miner Street at the northeast corner of the Miner Street/Lee Street intersection. The subject property is located in Downtown Des Plaines and is currently accessed via on-street parking along Miner Street and via the alley located behind the subject property.

The existing two-story, 14,214-square foot building consists of a front entry area, multi-level theater seating area, and multiple restrooms. The petitioner has completely remodeled the interior of the existing building to renovate the multi-level theater area, add a restaurant, and add a bar area on the second story based on the Floor Plan. The petitioner's proposal does not include any changes to the outside of the building with the exception of tuck-pointing and the refurbishment of the existing marquee sign. The dumpster for this suite will be stored inside the building except trash collection days. The Des Plaines Theater will be open on Monday through Sunday from 11 am to 2 am. A maximum of 50 employees will be on site at a given time. Please see the Project Narrative for more details.

The proposed Floor Plan for the two-story building is as follows:

- First Floor includes the 712-seat main theater area, an 814-square foot, 62-seat dining area with bar, a 560-square foot lobby area, 488-square foot lounge/waiting area, and restrooms; and
- Second floor includes a 1,682-square foot, 112-seat dining area with bar, upper level theater seating area, and restrooms.

The following parking regulations apply to this request pursuant to Section 12-9-7 of the Des Plaines zoning Ordinance:

- One parking space for every five seats in the main auditorium, sanctuary, nave, or similar place of assembly and other rooms which are to be occupied simultaneously; and
- One parking space for every 100-square feet of net floor area, or one space for every four seats, whichever is greater, plus space for every three employees for restaurants.

Thus, a total of 199 off-street parking spaces are required including six handicap accessible parking spaces. The existing building will utilize the available public parking in the Metropolitan Square Garage to meet all parking requirements.

Case 21-007-CU	1011 E Touhy Ave	Conditional Use
Case 21-008-CU	1628 Rand Rd	Conditional Use
Case 21-012-FPLAT-PUD-A	Various Addresses	Final Plat of Subdivision/PUD Amendment
Case 21-013-CU	1470-1476 Miner St	Conditional Use

May 11, 2021
Page 24

Compliance with the Comprehensive Plan

The proposed project, including the proposed the site improvements, address various goals and objectives of the 2019 Comprehensive Plan including the following aspects:

- **Future Land Use Plan:**
 - This property is designated as Higher Density Urban Mix with Residential on the Future Land Use Plan. The Future Land Use Plan strives to create a well-balanced development area with a healthy mixture of commercial and residential uses. While the current use is commercial, the petitioner has enhanced the subject property by renovating the existing building to make it an asset in the Downtown Area and City of Des Plaines as a whole.
 - The subject property is located along the defined Miner Street corridor in downtown Des Plaines surrounded by higher density commercial and residential development. The request would transform the existing Des Plaines Theater into a prime destination and assist in promoting a vibrant entertainment and restaurant district in the Downtown area.

While the aforementioned aspects represent a small portion of the goals and strategies of the Comprehensive Plan, there is a large emphasis on improving existing commercial developments and enhancing commercial corridors throughout Des Plaines.

Conditional Use Findings: Conditional Use requests are subject to the standards set forth in Section 12-3-4(E) of the 1998 City of Des Plaines Zoning Ordinance, as amended. In reviewing these standards, staff has the following comments:

A. The proposed Conditional Use is in fact a Conditional Use established within the specific Zoning district involved:

Comment: Please see the petitioner’s responses to Standards for Conditional Uses.

B. The proposed Conditional Use is in accordance with the objectives of the City’s Comprehensive Plan:

Comment: Please see the petitioner’s responses to Standards for Conditional Uses.

C. The proposed Conditional Use is designed, constructed, operated and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity:

Comment: Please see the petitioner’s responses to Standards for Conditional Uses.

D. The proposed Conditional Use is not hazardous or disturbing to existing neighboring uses:

Comment: Please see the petitioner’s responses to Standards for Conditional Uses.

E. The proposed Conditional Use is to be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools; or, agencies responsible for establishing the Conditional Use shall provide

Case 21-007-CU	1011 E Touhy Ave	Conditional Use
Case 21-008-CU	1628 Rand Rd	Conditional Use
Case 21-012-FPLAT-PUD-A	Various Addresses	Final Plat of Subdivision/PUD Amendment
Case 21-013-CU	1470-1476 Miner St	Conditional Use

May 11, 2021

Page 25

adequately any such services:

Comment: Please see the petitioner's responses to Standards for Conditional Uses.

L. The proposed Conditional Use does not create excessive additional requirements at public expense for public facilities and services and will not be detrimental to the economic well-being of the entire community:

Comment: Please see the petitioner's responses to Standards for Conditional Uses.

M. The proposed Conditional Use does not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke fumes, glare or odors:

Comment: Please see the petitioner's responses to Standards for Conditional Uses.

H. The proposed Conditional Use provides vehicular access to the property designed so that it does not create an interference with traffic on surrounding public thoroughfares:

Comment: Please see the petitioner's responses to Standards for Conditional Uses.

I. The proposed Conditional Use does not result in the destruction, loss, or damage of natural, scenic, or historic features of major importance:

Comment: Please see the petitioner's responses to Standards for Conditional Uses.

J. The proposed Conditional Use complies with all additional regulations in the Zoning Ordinance specific to the Conditional Use requested:

Comment: Please see the petitioner's responses to Standards for Conditional Uses.

Recommendation: Staff recommends approval of the Conditional Use Permit for a Commercially Zoned Assembly use at 1470-1476 Miner Street based on a review of the information presented by the applicant and the findings made above, as specified in Section 12-3-4(E) (Standards for Conditional Uses) of the City of Des Plaines Zoning Ordinance.

Planning and Zoning Board Procedure: Under Section 12-3-4(D) (Procedure for Review and Decision for Conditional Uses) of the Zoning Ordinance, the Planning and Zoning Board has the authority to *recommend* that the City Council approve, approve subject to conditions, or deny the above-mentioned conditional use for a Commercially Zoned Assembly use at 1470-1476 Miner Street. The City Council has final authority on the proposal.

Case 21-007-CU	1011 E Touhy Ave	Conditional Use
Case 21-008-CU	1628 Rand Rd	Conditional Use
Case 21-012-FPLAT-PUD-A	Various Addresses	Final Plat of Subdivision/PUD Amendment
Case 21-013-CU	1470-1476 Miner St	Conditional Use

May 11, 2021

Page 26

A motion was made by Board Member Veremis, seconded by Board Member Fowler, to approve a Conditional Use under Section 12-7-3(K) of the 1998 Des Plaines Zoning Ordinance, as amended, to allow a commercially-zoned assembly use for a theatre in the C-5 zoning district, as presented.

AYES: Veremis, Fowler, Hofherr, Saletnik, Szabo

NAYES: None

ABSTAIN: None

*****MOTION CARRIES *****

ADJOURNMENT

The next scheduled Planning & Zoning Board meeting is Tuesday, May 25, 2021.

Chairman Szabo adjourned the meeting by voice vote at 7:51 p.m.

Sincerely,

Wendy Bednarz, Recording Secretary

cc: City Officials, Aldermen, Zoning Board of Appeals, Petitioners

MEMORANDUM

Date: May 27, 2021
To: Planning and Zoning Board
From: Jonathan Stytz, Planner JS
Cc: Michael McMahon, Community & Economic Development Director mm
Subject: Consideration of Conditional Use for a Commercially Zoned Assembly Use at 69-79 Broadway Street, Case #21-009-CU (7th Ward)

Issue: The petitioner is requesting a Conditional Use under Section 12-7-3(K)(3) of the 1998 Des Plaines Zoning Ordinance, as amended, to allow a Commercially Zoned Assembly use in the C-3 zoning district at 69-79 Broadway Street.

Analysis:

Address: 69-79 Broadway Street

Owners: Steven Bonica, 732 W. Algonquin Road, Arlington Heights, IL 60005

Petitioner: Harriet Denisewicz, Chicago Title Land Trust Company, 10 S. LaSalle Street, Suite 2750, Chicago, IL 60604

Case Number: 21-009-CU

Real Estate Index

Numbers: 09-07-418-016-0000; -017; -018; -019

Ward: #7, Alderman Patsy Smith

Existing Zoning: C-3, General Commercial District

Existing Land Use: Vacant Building

Surrounding Zoning: North: C-3, General Commercial District
South: C-3, General Commercial District
East: R-1, Single Family Residential District
West: C-3, General Commercial District

Surrounding Land Use: North: Vacant Building
 South: Multi-Unit Residential Building
 East: Single Family Residences
 West: Electrician (Commercial)/Vacant Building

Street Classification: Broadway Street is classified as a Local Street.

Comprehensive Plan: The Comprehensive Plan designates this site as Higher Density Urban Mix with Residential.

Project Description: The petitioner, Steven Bonica, has requested a Conditional Use Permit to operate a Community Center, Romanian Heritage Center NFP, at 69-79 Broadway Street. A community center is classified as a Commercially Zoned Assembly use, which is a conditional use in the C-3, General Commercial District. The subject properties are located within the C-3 zoning district, along Broadway Street between Cumberland Circle and the Cumberland Metra Station. The four subject properties contain a multi-unit, one-story building spanning all four lots, each with a separate PIN, with on-street parking in the front and a small accessory parking area at the rear as shown in the Plat of Survey for 69-73 Broadway Street (Attachment 4), the Plat of Survey for 75-79 Broadway Street (Attachment 5), and the following table.

Address	PIN	Zoning District
69 Broadway Street	09-07-418-019-0000	C-3, General Commercial
73 Broadway Street	09-07-418-018-0000	C-3, General Commercial
75 Broadway Street	09-07-418-017-0000	C-3, General Commercial
79 Broadway Street	09-07-418-016-0000	C-3, General Commercial

The petitioner plans to completely remodel the interior of the existing building to locate a library/multi-purpose room, office areas, inaccessible Romanian heritage exhibit areas, conference room, kitchen area, restrooms, and storage areas based on the Floor Plan (Attachment 7). The petitioner’s proposal does not include any changes to the outside of the building with the exception of new landscaping and signage at the front of the building. The dumpster for this suite will be stored inside the building except on trash collection days. The Romanian Heritage Center NFP will be open on Monday through Friday from 8 am to 7 pm as a research and tutoring center, as denoted in the Proposed Activities, Programs, and Parking Plan (Attachment 8) and the Proposed Schedule of Activities (Attachment 9). A maximum of two to three employees will be on site at a given time hosting a maximum of eight to ten sessions throughout the week with up to twelve students per session. This location will host evening meetings for the Board of Directors and Leadership Advisory Council with up to 20 people and various events once or twice a month. The proposed events include fellowship groups, commemorative and cultural events, exhibitions, concerts, community meetings, conferences, and seminars that are coordinated with the nearby Romanian Baptist Church of Chicago located at 484 E. Northwest Highway. See the Project Narrative (Attachment 1) for more details.

The following parking regulations apply to this request pursuant to Section 12-9-7 of the Des Plaines zoning Ordinance:

- One parking space for 200-square feet of gross activity area for community centers, banquet halls, and membership organizations; and
- One parking space for every 250-square feet of gross floor area for office areas.

Thus, a total of 19 off-street parking spaces are required including one handicap accessible parking space. The Site Plan (Attachment 6) shows the proposed parking area at the rear of the building, which is designed to accommodate 13 parking spaces and one handicap parking on the subject property. The petitioner intends to utilize a portion of the parking lot at the nearby Romanian Baptist Church of Chicago located at 484 E. Northwest Highway to accommodate the remaining required spaces and for monthly or bimonthly events. The proposal also includes the utilization of a valet service to address parking concerns, especially during events where 50-100 patrons could be in attendance. Staff has added a condition that the petitioner must obtain, execute, and submit a collective parking agreement with the nearby Romanian Baptist Church to staff to address all parking requirements pursuant to Sections 12-9-3 and 12-9-7 of the Des Plaines Zoning Ordinance.

Compliance with the Comprehensive Plan

The proposed project, including the proposed site improvements, addresses various goals and objectives of the 2019 Comprehensive Plan including the following aspects:

- **Future Land Use Plan:**
 - This property is designated as Higher Density Urban Mix with Residential on the Future Land Use Plan. The Future Land Use Plan strives to create a well-balanced development area with a healthy mixture of commercial and residential uses. While the proposed use does not have a retail component, the petitioner will enhance the subject property by renovating the existing vacant building to make it an asset in the City of Des Plaines as a whole.
 - The subject property is located along Broadway Street near the defined Northwest Highway and Golf Road commercial corridors in Des Plaines surrounded by commercial and residential development. The request would transform the existing vacant building into a community center that could help bridge the gap between the residences and commercial development in this area and bring benefits to the community as a whole.

While the aforementioned aspects represent a small portion of the goals and strategies of the Comprehensive Plan, there is a large emphasis on improving existing commercial developments throughout Des Plaines.

Conditional Use Findings: Conditional Use requests are subject to the standards set forth in Section 12-3-4(E) of the 1998 City of Des Plaines Zoning Ordinance, as amended. In reviewing these standards, staff has the following comments:

A. The proposed Conditional Use is in fact a Conditional Use established within the specific Zoning district involved:

Comment: The proposed community center is classified as a Commercially Zoned Assembly use. A Commercially Zoned Assembly use is a conditional use in the C-3 zoning district. Please see the petitioner's responses to Standards for Conditional Uses.

B. The proposed Conditional Use is in accordance with the objectives of the City’s Comprehensive Plan:

Comment: The proposed community center repurposes an existing vacant building, which helps to achieve the goal of the Comprehensive Plan to foster and improve commercial developments. This proposal can also provide another asset to the community through the promotion of cultural diversity, which the Comprehensive Plan strives to preserve and foster. Please see the petitioner’s responses to Standards for Conditional Uses.

C. The proposed Conditional Use is designed, constructed, operated and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity:

Comment: The proposed community center will not redevelop the existing vacant building in a way that would not be harmonious and appropriate in appearance to surrounding development since the petitioner does not plan to alter the building’s exterior. Instead, the proposal includes additional landscaping in front of the building and parking area improvements at its rear to improve the aesthetic appearance of the property. Please see the petitioner’s responses to Standards for Conditional Uses.

D. The proposed Conditional Use is not hazardous or disturbing to existing neighboring uses:

Comment: The proposed community center will not be hazardous or disturbing to the existing neighborhood uses since all of its operations will take place inside the building. The petitioner has proposed off-street parking spaces at the rear of the building and will provide a collective parking agreement with the nearby Romanian Baptist Church to utilize a portion of their parking spaces to meet parking standards and handle any overflow parking during events. Please see the petitioner’s responses to Standards for Conditional Uses.

E. The proposed Conditional Use is to be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools; or, agencies responsible for establishing the Conditional Use shall provide adequately any such services:

Comment: The existing building is adequately served by essential public facilities and services through property access from a rear alley, on street parking in the front, and municipal services. Staff does not feel that the proposed community center will alter the existing service of this property. Please see the petitioner’s responses to Standards for Conditional Uses.

F. The proposed Conditional Use does not create excessive additional requirements at public expense for public facilities and services and will not be detrimental to the economic well-being of the entire community:

Comment: The existing building does not create excessive additional requirements at the public expense for public facilities and services. Staff does not feel that the proposed community center will create excessive additional requirements for public facilities and service, as the size and location of the existing building remain the same. Please see the petitioner’s responses to Standards for Conditional Uses.

G. The proposed Conditional Use does not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke fumes, glare or odors:

Comment: The proposed community center operations will not produce excessive production of traffic, noise, smoke fumes, glare, or odors since all operations will take place inside the building and consist of smaller groups of people. The anticipated events that will occur on occasion once or twice during the month will be scheduled and planned in coordination with the Romanian Baptist Church to ensure adequate parking is provided. Please see the petitioner’s responses to Standards for Conditional Uses.

H. The proposed Conditional Use provides vehicular access to the property designed so that it does not create an interference with traffic on surrounding public thoroughfares:

Comment: The proposed community center will have parking and property access concentrated at the rear of building with some parking in the front of the building. Staff feels that the proposed parking and access to the site is sufficient during normal operations, but has required a collective parking agreement to be established and executed between the proposed Romanian Heritage Center NFP to accommodate events with larger vehicular and pedestrian traffic. The proposal includes the use of a valet to allow patrons to drop off their vehicle on site and have it parked in the existing Romanian Baptist Church parking lot during events. Please see the petitioner's responses to Standards for Conditional Uses.

I. The proposed Conditional Use does not result in the destruction, loss, or damage of natural, scenic, or historic features of major importance:

Comment: The proposed community center will not result in the destruction, loss, or damage of natural, scenic, or historic features since the property is already developed with the building and parking area. In addition, the subject building is not listed as a historic significant structure. Please see the petitioner's responses to Standards for Conditional Uses.

J. The proposed Conditional Use complies with all additional regulations in the Zoning Ordinance specific to the Conditional Use requested:

Comment: The proposed community center will comply with all other regulations in the Zoning Ordinance. The conditional use for the Commercially Zoned Assembly use will be the only entitlement necessary for the proposed community center request as presented. Please see the petitioner's responses to Standards for Conditional Uses.

Recommendation: Staff recommends approval of the Conditional Use Permit for a Commercially Zoned Assembly use at 69-79 Broadway Street based on a review of the information presented by the applicant and the findings made above, as specified in Section 12-3-4(E) (Standards for Conditional Uses) of the City of Des Plaines Zoning Ordinance.

Planning and Zoning Board Procedure: Under Section 12-3-4(D) (Procedure for Review and Decision for Conditional Uses) of the Zoning Ordinance, the Planning and Zoning Board has the authority to *recommend* that the City Council approve, approve subject to conditions, or deny the above-mentioned conditional use for a Commercially Zoned Assembly use at 69-79 Broadway Street. The City Council has final authority on the proposal.

Attachments:

- Attachment 1: Project Narrative
- Attachment 2: Petitioner's Responses to Standards
- Attachment 3: Location Map
- Attachment 4: Plat of Survey for 69-73 Broadway Street
- Attachment 5: Plat of Survey for 75-79 Broadway Street
- Attachment 6: Site Plan
- Attachment 7: Floor Plan
- Attachment 8: Proposed Activities, Programs, and Parking Plan
- Attachment 9: Proposed Schedule of Activities
- Attachment 10: Site and Context Photos



March 26, 2021

To: City of Des Plaines
1420 Miner Street
Des Plaines, IL 60016

Attn: Jonathan Stytz - Planner

Re: Application for Conditional Use for Assembly Use
69-73 and 75-79 N. Broadway

Dear Mr. Jonathan Stytz,

On behalf of the Board of Directors of the Romanian Heritage Center NFP, I kindly ask for consideration of our Application for Conditional Use for the two properties captioned above.

Our organization is currently under contract to purchase both of these properties and we plan to completely renovate the interior of the building to suit our purposes, while we will also clean and recondition the exterior to its original beauty. On a second phase we are also looking to add a Glass Vestibule in the front of the building to further enhance and modernize its look.

Our organization will primarily have activities Monday thru Friday from 8 am to 7 pm that are limited to the use of the Library Room as a research and tutoring center, having 2-3 employees at a time in the building and a maximum of 12 students per session, with max. 8-10 sessions per week. We will also have occasional meetings in the evening, of the Board of Directors and of our Leadership Advisory Council, with an anticipated participation of 20 people, once or twice a month.

Furthermore, we will occasionally have larger community events for the purpose of advancing our organization's purposes, such as: fellowship groups, commemorative and cultural events, exhibitions, concerts, community meetings, seminars, and conferences. We anticipate having these events twice a month in the beginning, and later on once a week at max., during the weekends. Planning of these events is going to be coordinated also with our neighboring Romanian Baptist Church, which will permit us to use their parking lot for overflow if needed. In such instances we will be hiring valet parking attendants or will use a couple of the Romanian Churches shuttle vans.

For all other details, I kindly bring your attention to the attached documentation, including the presentation of our project. Should you need more information, please do not hesitate to contact me. We thank you for your attention and consideration.

On behalf of the Board of Directors,



Steven Bonica
President / Executive Director

STANDARDS FOR CONDITIONAL USES

The Planning and Zoning Board and City Council review the particular facts and circumstances of each proposed Conditional Use in terms of the following standards. Keep in mind that in responding to the items below, you are demonstrating that the proposed use is appropriate for the site and will not have a negative impact on surrounding properties and the community. Please answer each item completely and thoroughly (two to three sentences each).

1. The proposed conditional use is in fact a conditional use established within the specific zoning district involved;
 - a. We have consulted with Mr. Jonathan Stytz, Planner for the City of Des Plaines, about having the Romanian Heritage Center obtain an occupancy permit and applicable approvals required for functioning in the subjected building and he determined that our use qualifies as a “Commercially Zoned Assembly Use”, and that a Conditional Use Application was required.
 - b. We have reviewed the zoning code and the table of uses and we have noted that there are other not-for-profit entities as well as non-commercial uses permitted already, by right, in the zoning district. Included in this list are libraries and media and print establishments, which are uses similar to the activities we will engage in. Our library will occasionally have public functions and host events on special occasions, mostly in the evenings and weekends. Otherwise, our regular use of the facilities will be as a reading room and research center with a limited attendance and only 2 or 3 employees in the facility at one time.
 - c. In addition to all of this, the Romanian Heritage Center NFP is a faith based religious organization and our assembly use in the zoning district is protected by the Religious Land Use and Institutionalized Persons Act, which requires among other things, that municipalities provide religious entities equal treatment and not impose zoning laws that substantially burden the religious exercise of religious assemblies.
2. The proposed conditional use is in accordance with the objectives of the city's comprehensive plan and this title;

The Board of Directors of the Romanian Heritage Center was very pleased to find out that the City of Des Plaines has established a 10-year vision of this community's desired physical environment, seeking to not only explore but also to promote new opportunities that reflect changes in the community and surrounding socioeconomic landscape.

We were further encouraged after reading Chapter 6 (Diversity & Inclusion) of the Des Plaines Comprehension Plan, which in its Vision Statement states that:

“The City of Des Plaines welcomes and celebrates its rich cultural history, drawing from its legacy as an immigrant-friendly community. By supporting and providing comprehensive resources for immigrant families and minority-owned businesses, Des Plaines will be primed to continue developing as a vibrant diverse community.” (Des Plaines Comprehensive Plan, page 49)

There are already a few businesses in the City of Des Plaines owned and/or managed by Romanian-Americans, all establishments contributing to the Des Plaines economy. The Romanian Heritage Center will further attract other businesses and investors to the City of Des Plaines, enabling our ethnic group to make a larger positive economic impact.

We totally agree with the recommendation in the Des Plaines Comprehensive Plan which states:

“Des Plaines should continue to celebrate and incorporate its rich cultural diversity by preserving the very things that makes it special: its people, character, and diversity. By celebrating the different backgrounds of its residents, there is an opportunity to create a stronger sense of community.” (Des Plaines Comprehensive Plan, page 49)

We are certain that through the educational programs, the youth programs and services, and through the cultural events that we will organize or host, the entire surrounding community will come to appreciate the value of the Romanian Heritage Center, thus becoming a valuable resource for anyone in the local community.

The Romanian Heritage Center NFP aims to be of service not only to the ethnic Romanian-Americans but also to anyone wishing to interact with our community and find out more about our religious culture and traditions. We are committed to provide exceptional service and to facilitate a great experience to all who wish to connect with us.

3. The proposed conditional use is designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity;
 - a. The proposed changes and design of the property will provide for reconditioning the façade and further enhance its appeal to make it even more attractive to the neighborhood landscape and architecture style. This particular property was a jewel in the neighborhood and our intent is to bring back its beauty with a touch of modernism, without compromising its unique architectural style.
 - b. Unfortunately, part of the building has been vacant for years while another part was just left as it was with very little maintenance, if any. This resulted in today’s overall look of the building (both properties subjected to our project) to have a look that shows neglect and required TLC. We would immediately attend to the exterior of the building, cleaning and restoring it, replacing the store front windows and in Phase 2 we would like to build an addition in the center of the property – a Glass Vestibule, which will further enhance the look of the whole block.
 - c. We are not planning to change the unique character of the property but rather to preserve it. We plan on renovating its interior as well, using the highest standards of construction methodology and providing for stellar facilities meant to attract people for its stylish ambiance.
 - d. Furthermore, the use of the property will be operated and maintained as an assembly use and certain assembly uses, like libraries, are already permitted in the zoning district.

4. The proposed conditional use is not hazardous or disturbing to existing neighboring uses;

The proposed conditional use of the property by the Romanian Heritage Center as an assembly place is certainly not hazardous nor disturbing to the existing neighboring uses. The occasional use of our Library and Multipurpose Room as a gathering place will be monitored closely and in accordance to any applicable restrictions, rules and regulations already in place by similar other not-for-profit religious entities as well as non-commercial uses permitted already by right in the zoning district.

5. The proposed conditional use is to be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools; or the persons or agencies responsible for the establishment of the proposed conditional use shall provide adequately any such services;

The use of the property can and will be served by the same services as have been provided in the past and there is no need to change any. The overall functioning of the building and its entire use will not call for any changes. It is important to note that the overall configuration and integrity of the property will not change, thus current drainage, refuse disposal, water and sewer will all stay the same. Streets are adequate, no additional police or fire protection is required.

6. The proposed conditional use does not create excessive additional requirements at public expense for public facilities and services and not be detrimental to the economic welfare of the community;

1. There will be no excessive additional requirements at public expense for public facilities and services as they already are more than adequate.

2. Although we are a religious not-for-profit entity, the zoning district already permits not-for-profit and non-commercial uses in the district. Therefore, our conditional use for assembly is similar in uses permitted in the zoning district, and it will not be detrimental to the economic welfare of the community. On the contrary, we believe that as we will draw people to the neighborhood, they will be attracted to establish new businesses in the area.

- a. As a matter of fact, we already are aware of a business group who wants to buy a property nearby to open a modern European Restaurant featuring some Romanian traditional culinary dishes as well, which will certainly be of economic welfare to the entire community.

- b. We are also aware of another family who wishes to establish a second location for their pastry shop, in addition to the one they have in the east end of Skokie.

- c. Then there is the group of partners who own an import & distribution warehouse specialized in European delicatessen unperishable products already located in Des Plaines, who wishes to establish a point of sale deli store in the proximity of the new Romanian Heritage Center.

7. The proposed conditional use does not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors;

The proposed conditional use calls for small assembly use, no manufacturing, therefore we will not be causing excessive production of noise, smoke, fumes, glare or odors.

While typically one might wonder on the implications of conditional assembly use on the traffic and/or parking, we will not be causing trouble for the neighbors nor the city's emergency vehicles. Our parking already consists of 12 parking spaces for our day-to-day use, which is sufficient. For special occasions when we will be hosting events, we will hire a valet parking attendant who will be managing the parking lot's use to its maximum capacity of 24 cars. If we will anticipate higher need for parking for exceptionally rare events, we will be working closely with the Romanian Baptist Church around the corner and will coordinate the use of needed additional parking spaces on their property. In such instances we will either have several valet parking attendants assisting our guests or will have shuttle vans to-and-from the church's parking lot and our property.

8. The proposed conditional use provides vehicular access to the property designed that does not create an interference with traffic on surrounding public thoroughfares;

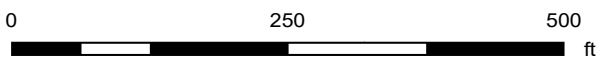
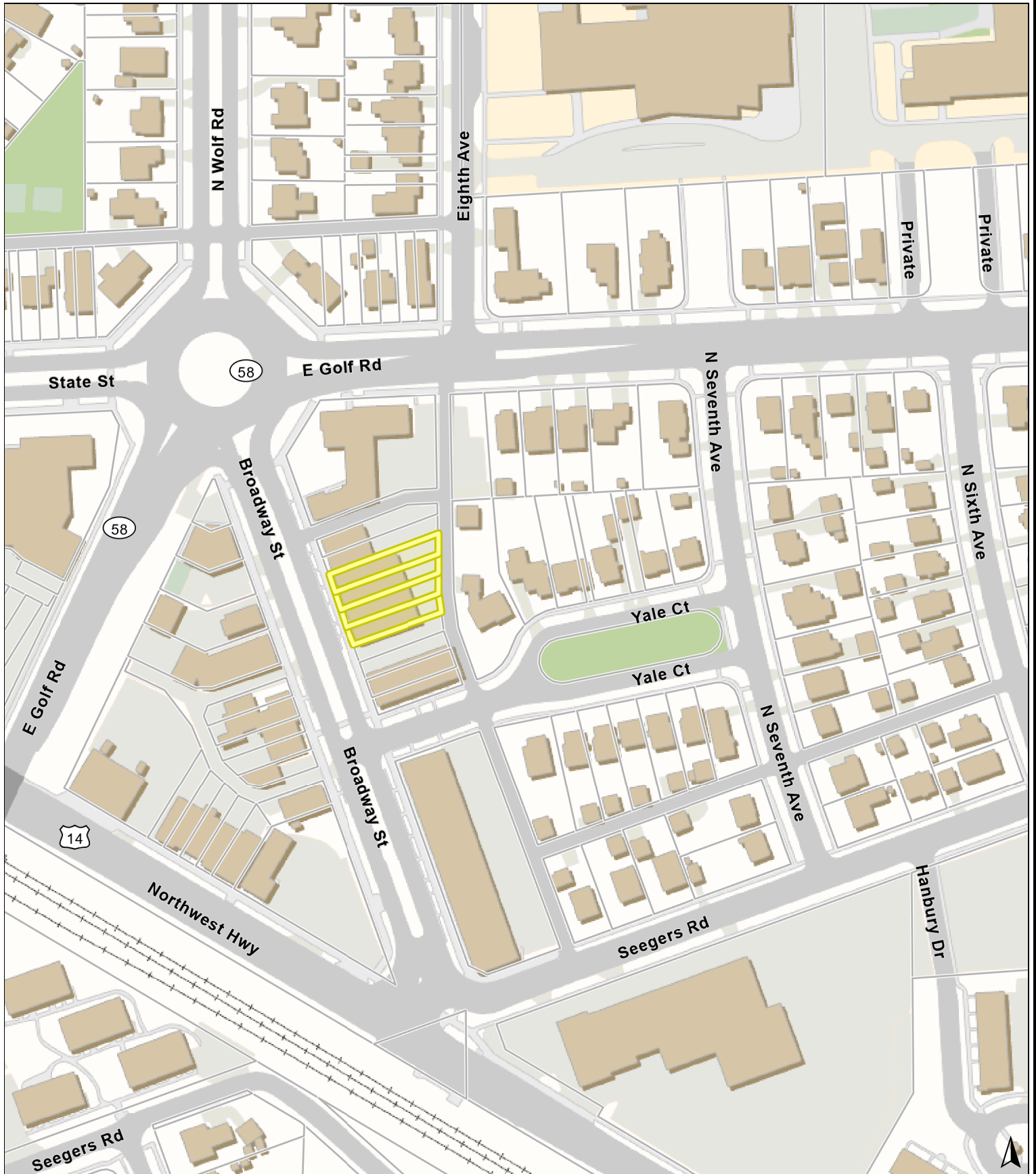
The existing use of the property is currently already designed very well and we will accommodate and comply according to the existing plan, thus we will not create an interference with traffic on surrounding public thoroughfares.

9. The proposed conditional use does not result in the destruction, loss, or damage of a natural, scenic, or historic feature of major importance; and

We are not aware of any presence of a natural, scenic, or historic feature of major importance anywhere near, nor any other public or private property of such kind that would be affected by our project in any way shape or form.

10. The proposed conditional use complies with all additional regulations in this title specific to the conditional use requested

We intend to comply with all the applicable regulations in this title specific to the conditional use requested and the zoning code.



Print Date: 6/2/2021

Notes

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.

PLAT OF SURVEY

5740 N. ELSTON AVENUE

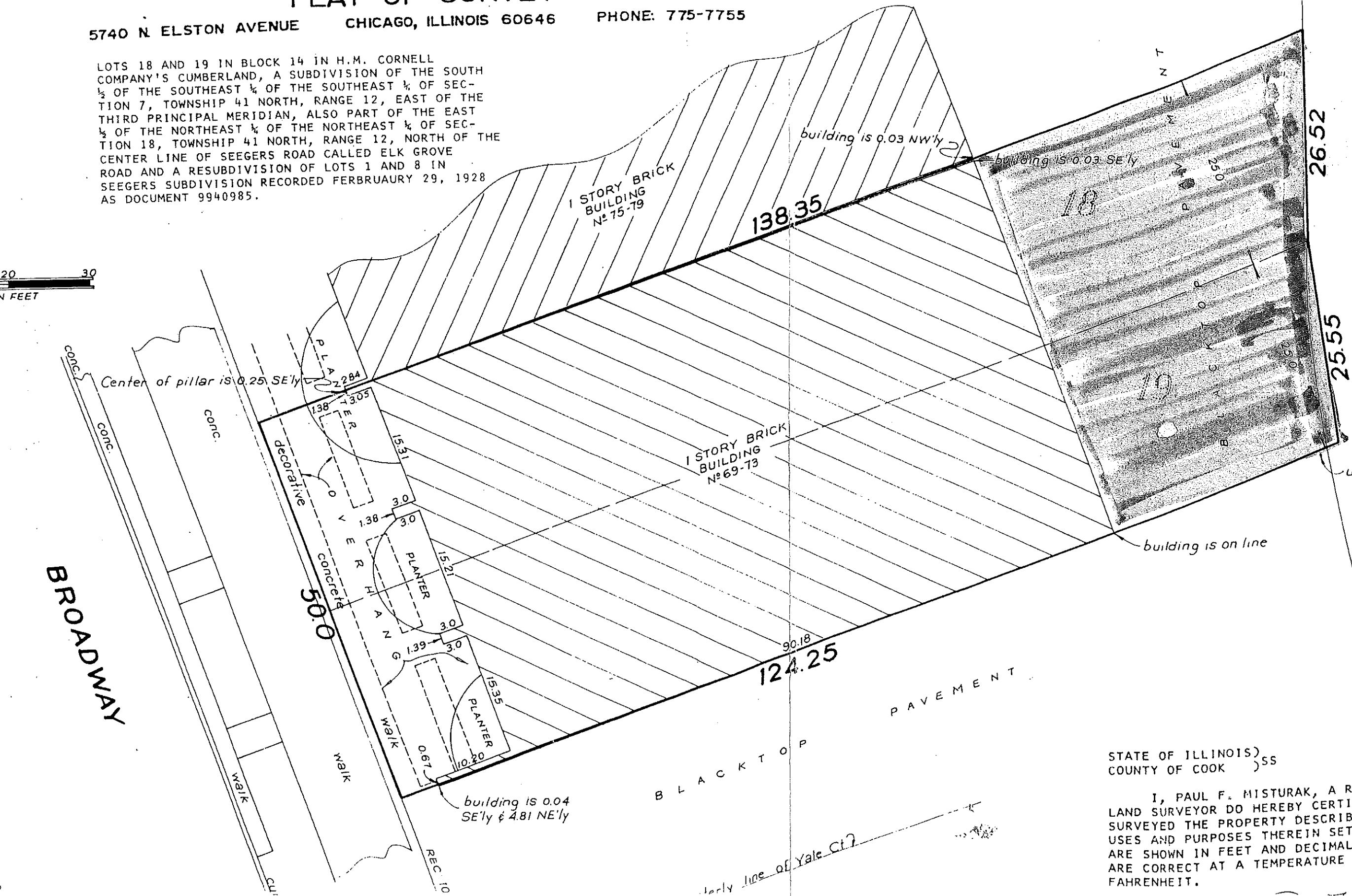
CHICAGO, ILLINOIS 60646

PHONE: 775-7755

LOTS 18 AND 19 IN BLOCK 14 IN H.M. CORNELL COMPANY'S CUMBERLAND, A SUBDIVISION OF THE SOUTH 1/2 OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 7, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ALSO PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18, TOWNSHIP 41 NORTH, RANGE 12, NORTH OF THE CENTER LINE OF SEEGER'S ROAD CALLED ELK GROVE ROAD AND A RESUBDIVISION OF LOTS 1 AND 8 IN SEEGER'S SUBDIVISION RECORDED FEBRUARY 29, 1928 AS DOCUMENT 9940985.



BROADWAY



STATE OF ILLINOIS)
 COUNTY OF COOK)SS

I, PAUL F. MISTURAK, A REAL ESTATE SURVEYOR DO HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY DESCRIBED AND THE DIMENSIONS AND PURPOSES THEREIN SET FORTH ARE SHOWN IN FEET AND DECIMALS AND ARE CORRECT AT A TEMPERATURE OF 68 FARENHEIT.

3,350 SF Land

Attachment 4

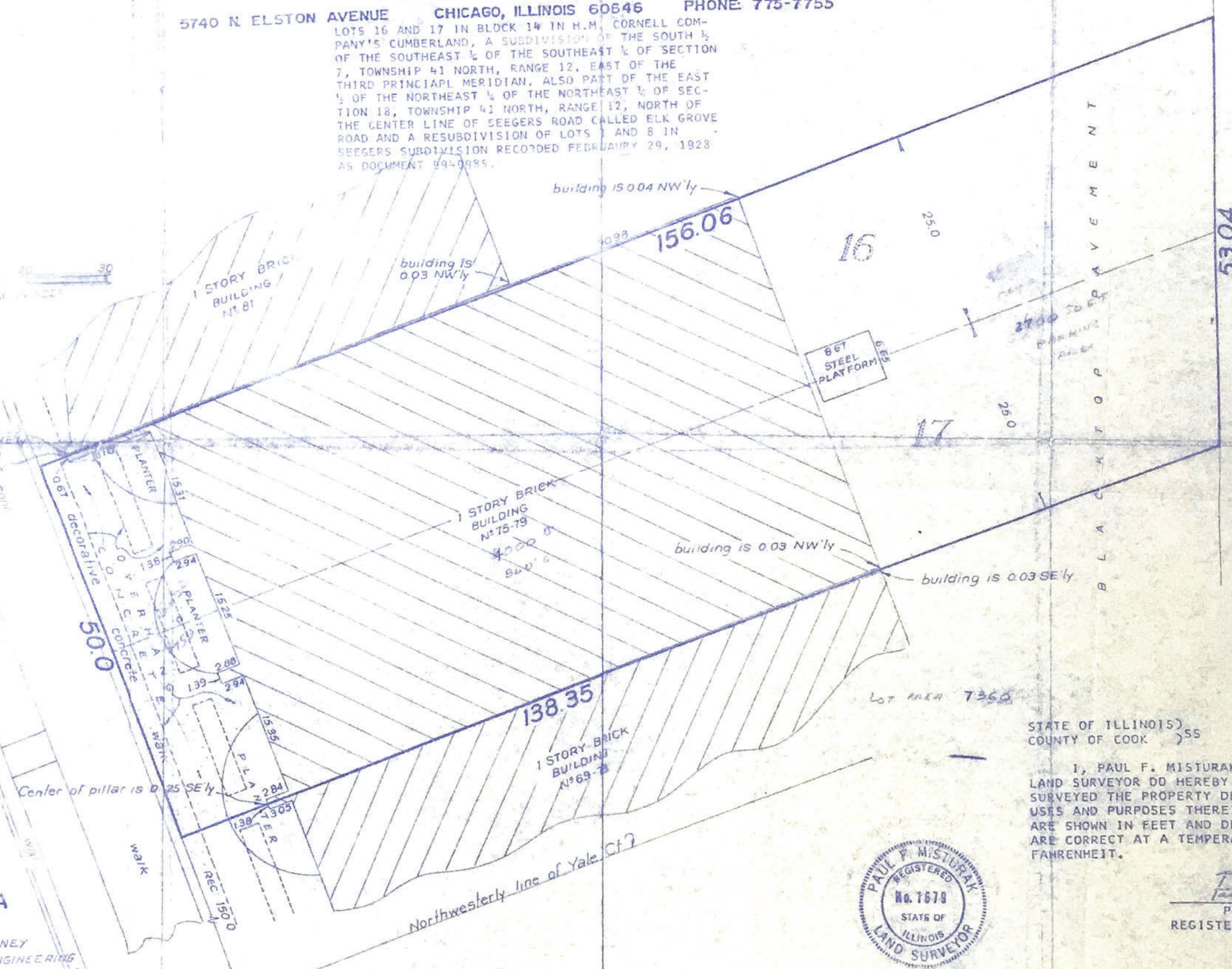
CERTIFIED SURVEY CO. PLAT OF SURVEY

5740 N ELSTON AVENUE CHICAGO, ILLINOIS 60646 PHONE: 775-7755

LOTS 16 AND 17 IN BLOCK 14 IN H.M. CORNELL COMPANY'S CUMBERLAND, A SUBDIVISION OF THE SOUTH 1/2 OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 7, TOWNSHIP 41 NORTH, RANGE 12, EAST OF THE THIRD PRINCIPAL MERIDIAN, ALSO PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18, TOWNSHIP 41 NORTH, RANGE 12, NORTH OF THE CENTER LINE OF SEEGERS ROAD CALLED ELK GROVE ROAD AND A RESUBDIVISION OF LOTS 7 AND 8 IN SEEGERS SUBDIVISION RECORDED FEBRUARY 29, 1928 AS DOCUMENT 94-0885.



BROADWAY

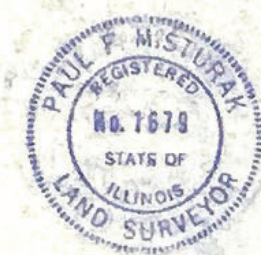


ALLEY

B L A C K F O O P A V E M E N T

STATE OF ILLINOIS)
COUNTY OF COOK)SS

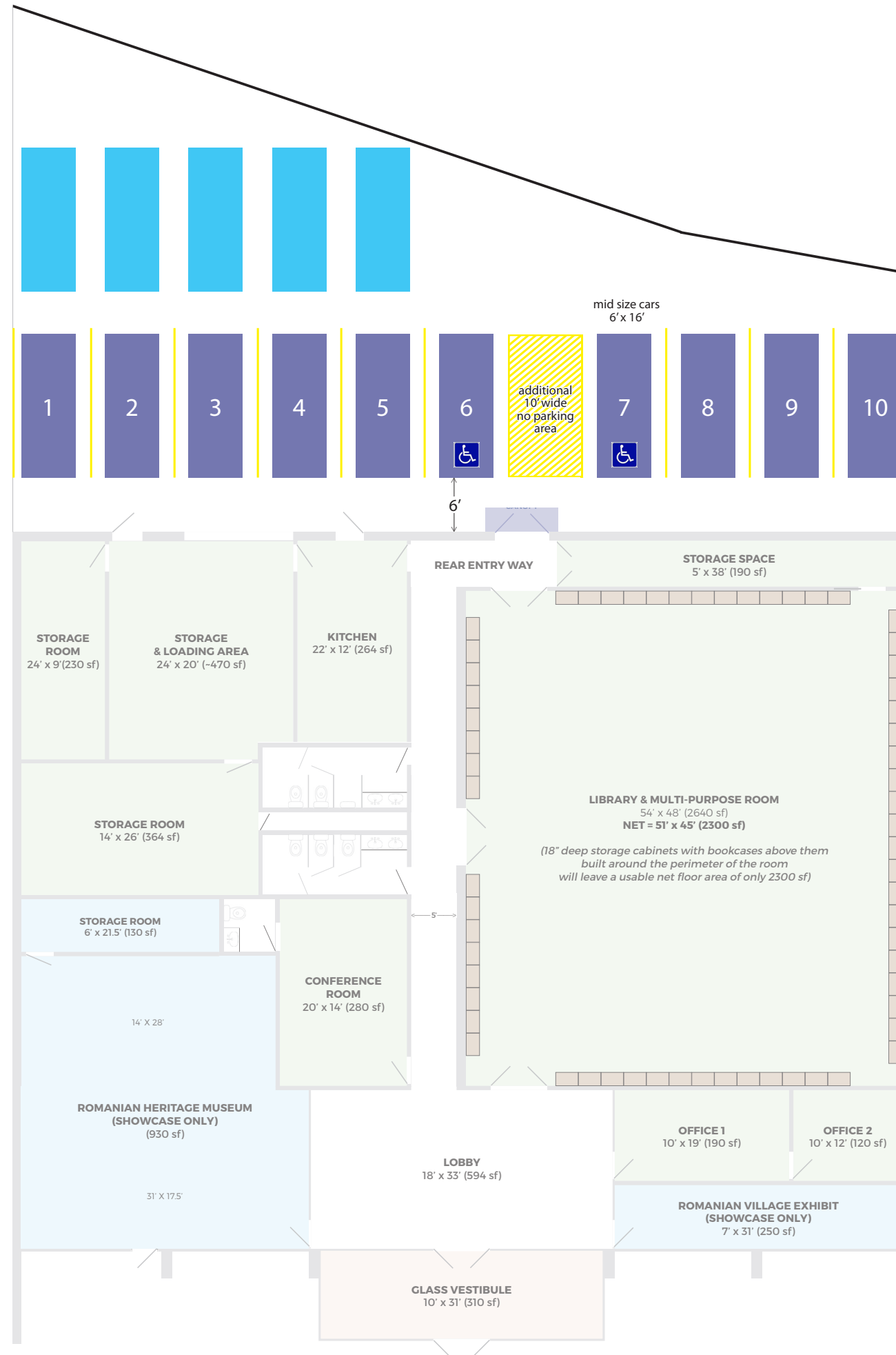
I, PAUL F. MISTURAK, A REGISTERED ILLINOIS LAND SURVEYOR DO HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY DESCRIBED ABOVE FOR THE USES AND PURPOSES THEREIN SET FORTH. DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF AND ARE CORRECT AT A TEMPERATURE OF 68 DEGREES FAHRENHEIT.



Paul F. Misturak
PAUL F. MISTURAK
REGISTERED ILLINOIS LAND SURVEYOR

ORDER NO 831452-A
DATE: MARCH 13, 1989
ORDERED BY: JIM MULDOWNY
FLETCHER ENGINEERING COMPANY

Proposed additional parking spaces >>
(events parking with Valet Parking Attendant)



IMPORTANT NOTES:

GARAGE ACCESS is only needed at the most 2-3 times a month when receiving deliveries for events, several hours before event starts.

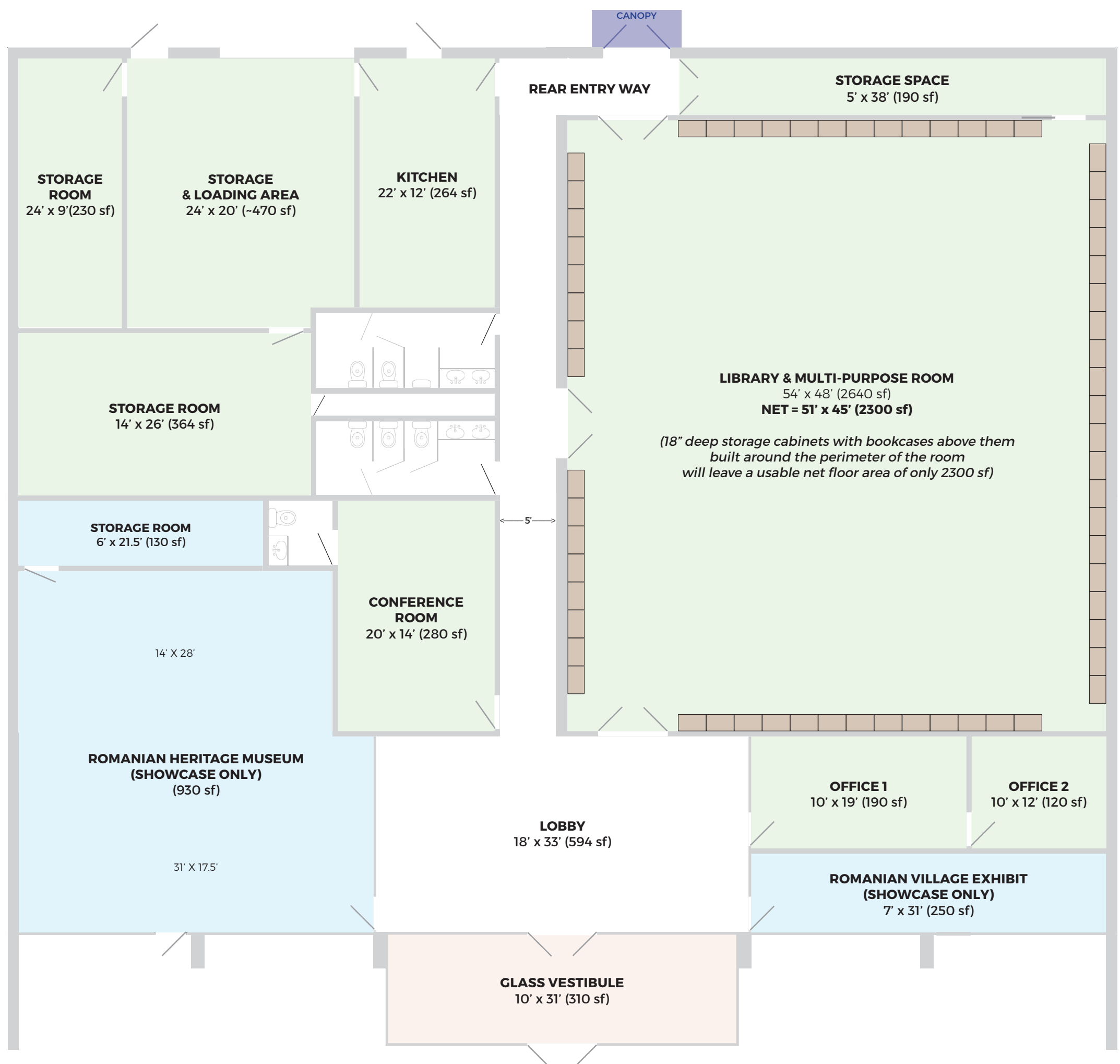
During special events, if needed, the Romanian Heritage Center will also be able to use the parking lot of the Romanian Baptist Church nearby.

Valet Parking will be used in such instances.

ROMANIAN HERITAGE CENTER NFP

PROPOSED PARKING PLAN

**69-73 and
 75-79 N. BROADWAY ST.
 DES PLAINES, IL**



ROMANIAN HERITAGE CENTER NFP

PROPOSED FLOOR PLAN

69-73 and
75-79 N. BROADWAY ST.
DES PLAINES, IL

ROMANIAN HERITAGE CENTER NFP

A. PROPOSED ACTIVITIES & PROGRAMS

The Romanian Heritage Center NFP plans to organize and host activities and programs aimed to implement its stated purposes, with the assistance of volunteers, and at times in partnership with other organizations from our community. Some of the activities and programs on our proposed agenda that we plan to have, contingent upon the budget and availability of funds, are as follows:

1. **ROMANIAN HERITAGE CLASSES**

Group A: for children 8-11 years old

To be held twice a month on Saturdays (1st & 3rd of each month) from 9 AM to 12 PM.

Class size: from 8 to max. 16 students.

Staff required: 2-3

2. **ROMANIAN HERITAGE CLASSES**

Group B: for children 11-14 years old

To be held twice a month on Saturdays (2nd & 4th of each month) from 9 AM to 12 PM.

Class size: from 8 to max. 16 students.

Staff required: 2-3

3. **ROMANIAN LANGUAGE CLASSES**

Group A: for children 8-11 years old

To be held twice a month on Tuesdays (1st & 3rd of each month) from 4 PM to 5 PM.

Class size: from 8 to max. 16 students.

Staff required: 2-3

4. **ROMANIAN LANGUAGE CLASSES**

Group B: for children 11-14 years old

To be held twice a month on Tuesdays (2nd & 4th of each month) from 4 PM to 5 PM.

Class size: from 8 to max. 16 students.

Staff required: 2-3

5. **ROMANIAN READING CLUB**

Group A: for children 8-11 years old

To be held twice a month on Thursdays (1st & 3rd of each month) from 4 PM to 5 PM.

Class size: from 8 to max. 16 students.

Staff required: 2-3

6. **ROMANIAN READING CLUB**

Group B: for children 11-14 years old

To be held twice a month on Thursdays (2nd & 4th of each month) from 4 PM to 5 PM.

Class size: from 8 to max. 16 students.

Staff required: 2-3

IMPORTANT NOTE: Children are dropped off and picked up at the end of the class. To avoid any disruptions of students' attention, there is absolutely no waiting on the premises.

7. **ENGLISH PROFICIENCY CLASS**
12 weeks modules for high school students.
To be held weekly on Mondays from 4 PM to 5 PM.
Class size: from 8 to max. 16 students.
Staff required: 2
8. **ESL ENGLISH CLASS**
12 weeks modules for adults.
To be held weekly on Wednesdays from 4 PM to 5 PM.
Class size: from 8 to max. 16 students.
Staff required: 2
9. **ADVANCED ENGLISH WRITING CLASS**
12 weeks modules for high school students.
To be held weekly on Fridays from 4 PM to 5 PM.
Class size: from 8 to max. 16 students.
Staff required: 2
10. **MATH TUTORING**
6 weeks modules for 8th grade students.
To be held weekly on Mondays from 5 PM to 6 PM.
Class size: from 8 to max. 16 students.
Staff required: 2
11. **MATH TUTORING**
6 weeks modules for 9th grade students.
To be held weekly on Tuesdays from 5 PM to 6 PM.
Class size: from 8 to max. 16 students.
Staff required: 2
12. **MATH TUTORING**
6 weeks modules for 10th grade students.
To be held weekly on Wednesdays from 5 PM to 6 PM.
Class size: from 8 to max. 16 students.
Staff required: 2
13. **MATH TUTORING**
6 weeks modules for 11th grade students.
To be held weekly on Thursdays from 5 PM to 6 PM.
Class size: from 8 to max. 16 students.
Staff required: 2
14. **MATH TUTORING**
6 weeks modules for 12th grade students.
To be held weekly on Fridays from 5 PM to 6 PM.
Class size: from 8 to max. 16 students.
Staff required: 2

15. MAN IN THE MIRROR

An inter-denominational Basic Life Principles series of weekly Bible studies and fellowship (aka: Christian Men in His Service), administered by the *Romanian Christian Television Network* of Chicago in partnership with the Romanian churches in the area.

To be held weekly on Fridays from 7 PM to 9 PM.

Group size: from 12 to max. 24 participants.

Staff required: 2

16. YOUTH BIBLE STUDY

An inter-denominational Basic Life Principles series of weekly studies and fellowship for college students, administered by *Selfless Faith* group of Chicago area.

To be held weekly on Thursdays from 7 PM to 9 PM.

Group size: from 12 to max. 24 participants.

Staff required: 2

17. WOMEN OF THE BIBLE

An inter-denominational Basic Life Principles series of weekly studies and fellowship for Christian women, administered by Prof. Simona Sabou, of *Grace College and Seminary*.

To be held weekly on Tuesdays from 7 PM to 9 PM.

Group size: from 12 to max. 24 participants.

Staff required: 2

18. CENAACLUL RETRO

Quarterly concerts featuring Romanian folk music and poetry interpreted by local artists, with occasional appearances of special guests. Organized and administered by the *Cenaclul Retro NFP*, a cultural organization in the Romanian community of Chicago. To be held once in three months (March, June, Sept., and Dec.) on 1st Saturdays from 6 PM to 9 PM.

Group size: from 40 to max. 80 participants.

Staff required: 4-6

19. CHICAGO'S ROMANIAN TALENT SEEKING SHOW

Quarterly events featuring Romanian music and poetry interpreted by young talents, with occasional appearances of special guests. Organized and administered by the *Cenaclul Retro NFP*, a cultural organization in the Romanian community of Chicago, and the *Romanian Tribune Media Group*. To be held once in three months (Feb., May, Aug., and Nov.) on 1st Saturdays from 6 PM to 9 PM.

Group size: from 40 to max. 80 participants.

Staff required: 4-6

20. PROFESSIONAL CLUBS & ASSOCIATIONS MEETINGS

Hosting events for organizations such as: Romanian Bar Association, Association of Romanian-American Medical Professionals, Association of Romanian-American Academia, and the Association of Romanian-American Architects and Engineers. Each club may hold a quarterly meeting, thus totaling 12 events in one year, on 2nd Saturdays from 6 PM to 9 PM.

Group size: from 40 to max. 80 participants.

Staff required: 4-6

21. SEMI-ANNUAL FUNDRAISING DINNERS

Organizing and hosting fundraising dinners for the Romanian Heritage Center NFP, with participation of Special Guests and Speakers, some that are representing the Romanian Government and the local American governments (municipal, county, state, and federal).
Group size: from 100 to max. capacity allowed for participants.
Staff required: 6-8

22. FUNDRAISING EVENTS FOR OTHER ORGANIZATIONS

As need arises, based on availability of the facilities, we would like to assist other organizations and host their special events in the Library & Research Room. For example, we would like to host annual fundraising dinners for: Romanian Christian Television Network of Chicago, and the Little Samaritan Radio Network of Chisinau - Rep. of Moldova.
Group size: from 100 to max. capacity allowed for participants.
Staff required: 6-8

23. NATIONAL DAY OF ROMANIA CELEBRATION

This event takes place on or around the National Day of Romania, December 1st, and is organized in partnership with the Consulate General of Romania in Chicago and the Romanian Churches form Greater Chicago Area.
Group size: from 100 to max. capacity allowed for participants.
Staff required: 6-8

24. CHRISTMAS CAROLS CONCERT

This special event takes place around the Christmas Holiday and is organized in partnership with the Romanian Churches of Chicago and the Romanian Christian Television Network.
Group size: from 100 to max. capacity allowed for participants.
Staff required: 6-8

IMPORTANT NOTE:

The activities and programs described above are going to be offered based on the needs identified in our community and surrounding neighborhood, considering our proposed limited budget and the availability of our volunteers. Should the needs change, we will re-evaluate the possibilities and will create other activities so long as we will be able to safely host and organize them.

While our goal is to be an organization and facility that serves our community, we are mindful of the limitations and regulations safeguarding our neighborhood and the residents of City of Des Plaines.

As such, we will consider the advice and recommendations presented to us by the pertinent officials and authorities to ensure the most positive impact in our surrounding community and a harmonious relationship with all.

B. PROPOSED PARKING PLANS

1. REGULAR WEEK DAYS, 9 AM – 7 PM

Our parking lot will be sufficient (please see our proposed 2 options for parking plans), with the additional other **5-6 spaces** always empty in front of the building on-street. Please note that all classes held are for students that are dropped off and picked up at the end of the class.

2. REGULAR WEEK DAYS, 7 PM – 9 PM

Our parking lot plus on-street parking as detailed above, **plus 6 additional spots** which we are allowed to use at 42 N. Broadway St.

3. SATURDAYS, 9 AM – 1 PM

Our parking lot will be sufficient, with the additional **5-6 spaces** always empty in front of the building on-street. Please note that all classes held are for students that are dropped off and picked up at the end of the class.

4. SATURDAYS, AFTER 5 PM and SUNDAYS, 1 PM – 5 PM

Our parking lot with the another **5-6 spaces** in front of the building on-street, **plus 6 additional spots** which we are allowed to use at 42 N. Broadway St..

ADDITIONALLY - During these times on Saturdays and Sundays we also have available **as many parking spaces as needed** at the Romanian Baptist Church around the corner.



Please note that **we've consulted with the Des Plaines Police Department** about our weekend special events with larger participation when using the Romanian Baptist Church's parking lot for overflow, and **we are planning to hire DPPD Community Police to assist pedestrians** crossing the street at the Golf Rd round-about. **For some of the upscale large events we are also going to have Valet Parking** to offer our guests a pleasant experience with the most comfortable parking solution.

PLEASE ALSO NOTE that we have started negotiations with the ownership & management of other properties in the area with large parking lots in an effort to obtain agreements to share the use of their parking spaces on Saturdays after 5 pm and Sundays between 1 pm and 5 pm.

(EX: R.E. agent for the current owner of 561 E. Golf Rd. as well as the Broadway Condominium Association which manages the medical building at 17-29 N. Broadway). Our discussions were very encouraging and we hope to have positive outcomes in the coming days.

ROMANIAN HERITAGE CENTER NFP

69-79 N. Broadway Street, Des Plaines, IL 60016

www.RomanianHeritage.US

PROPOSED SCHEDULE OF ACTIVITIES

	MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY	SUNDAY
9:00 - 9:50 AM	Library & Research Room Open to Members Only with appointments <i>(max. capacity allowed 12)</i>	CLOSED	Library & Research Room Open to Members Only with appointments <i>(max. capacity allowed 12)</i>	CLOSED	Library & Research Room Open to Members Only with appointments <i>(max. capacity allowed 12)</i>	ROMANIAN HERITAGE CLASS <i>(GROUP A: ages 8-11 only in 1st & 3rd week) (GROUP B: ages 11-14 only in 2nd & 4th week)</i>	CLOSED
10:00 - 10:50 AM							
11:00 - 11:50 AM							
12:00 - 12:50 PM	CLOSED	Library & Research Room Open to Members Only with appointments <i>(max. capacity allowed 12)</i>	CLOSED	Library & Research Room Open to Members Only with appointments <i>(max. capacity allowed 12)</i>	CLOSED	CLOSED	AVAILABLE FOR SPECIAL EVENTS
1:00 - 1:50 PM							
2:00 - 2:50 PM							
3:00 - 3:50 PM							
4:00 - 4:50 PM	ENGLISH PROFICIENCY CLASS 12 weeks modules for high school students	ROMANIAN LANGUAGE CLASS <i>(GROUP A: ages 8-11 only in 1st & 3rd week) (GROUP B: ages 11-14 only in 2nd & 4th week)</i>	ESL ENGLISH CLASS 12 weeks modules for adults	ROMANIAN READING CLUB <i>(GROUP A: ages 8-11 only in 1st & 3rd week) (GROUP B: ages 11-14 only in 2nd & 4th week)</i>	ADVANCED ENGLISH WRITING CLASS 12 weeks modules for high school students		
5:00 - 5:50 PM	MATH TUTORING <i>8th grade level</i>	MATH TUTORING <i>9th grade level</i>	MATH TUTORING <i>10th grade level</i>	MATH TUTORING <i>11th grade level</i>	MATH TUTORING <i>12th grade level</i>	AVAILABLE FOR SPECIAL EVENTS	CLOSED
6:00 - 6:50 PM							
7:00 - 7:50 PM	AVAILABLE FOR USE TO CLUBS & ORGANIZATIONS	WOMEN OF THE BIBLE inter-denominational Basic Life Principles (Bible study for women)	AVAILABLE FOR USE TO CLUBS & ORGANIZATIONS	YOUTH BIBLE STUDY inter-denominational Basic Life Principles (college students)	MAN IN THE MIRROR inter-denominational Basic Life Principles (Christian Men in His Service)		
8:00 - 8:50 PM							



69-79 Broadway St – Looking East at Front of Site



69-79 Broadway St – Looking Southwest at Rear Parking Area



69-79 Broadway St – Public Notice



69-79 Broadway St – Looking Southwest at Rear of Site



MEMORANDUM

Date: May 26, 2021
To: Planning and Zoning Board
From: Jonathan Stytz, Planner JS
Cc: Michael McMahon, Community and Economic Development Director MM
Subject: Consideration of Tentative Plat of Subdivision and Standard Variation at 1418-1424 Wedgewood Avenue, Case 21-014-SUB-V (3rd Ward)

Issue: The petitioner is requesting: (i) Tentative Plat of Subdivision under Section 13-2 of the Subdivision Regulations to subdivide the existing vacant lot into two lots of record; (ii) a Standard Variation under Section 12-7-2(J) of the 1998 Des Plaines Zoning Ordinance, as amended, to allow for a lot width of 50-feet where a minimum of 55-feet is required; and (iii) the approval of any other such variations, waivers, and zoning relief as may be necessary.

Analysis:

Address: 1418-1424 Wedgewood Avenue
Owner: Daniel Beniek, Skycrest Homes, 26303 W. Merton Road, Barrington, IL 60010
Petitioner: Daniel Beniek, Skycrest Homes, 26303 W. Merton Road, Barrington, IL 60010
Case Number: 21-014-SUB-V
Real Estate Index Number: 09-19-405-009-0000
Ward: #3, Alderman Sean Oskerka
Existing Zoning: R-1, Single Family District
Existing Land Use: Vacant Lot

Surrounding Zoning: North: R-1, Single Family Residential District
South: R-1, Single Family Residential District
East: R-1, Single Family Residential District
West: R-1, Single Family Residential District

Surrounding Land Use: North: Single Family Residence
South: Single Family Residence
East: Single Family Residence
West: Single Family Residence

Street Classification: Wedgewood Avenue is classified as a local street.

Comprehensive Plan: The Comprehensive Plan designates the site as Single Family Residential.

Project Description: The petitioner, Daniel Beniek, is requesting a Tentative Plat of Subdivision and Standard Variation for lot width for the property located at 1418-1424 Wedgewood Avenue. The subject property is 19,984-square feet (0.459 acres) in size and is comprised of one unimproved lot as shown in the Plat of Survey (Attachment 4). A request to subdivide the subject property was approved in 2006 and addresses 1418 and 1424 Wedgewood were assigned. However, the Final Plat of Subdivision was never recorded. Thus, the petitioner is requesting a new Tentative Plat of Subdivision and a variation for lot width for this site.

The petitioner is proposing to subdivide the existing vacant lot into two lots of record for future single-family home development. However, this proposal does not include the immediate development of the two proposed lots at this time. Both lots will be 10,000-square feet in size and measure 50-feet in width with a 30-foot front building setback. There are five-foot public utility easements proposed for the sides and ten-foot public utility easements proposed for the front and rear of each lot as shown in the Tentative Plat of Subdivision (Attachment 5). There is also a variation request for lot width, as the proposed lots will not meet the minimum 55-foot lot width requirement for properties in the R-1 district pursuant to Section 12-7-2(J) of the Zoning Ordinance.

Tentative Plat of Subdivision Report

Name of Subdivision: Skycrest Subdivision

Address: 1418-1424 Wedgewood Avenue

Requests: Approval of Tentative Plat of Subdivision & Variation

Total Acreage of Subdivision: 0.459 acres

Lot Descriptions and Construction Plans: The petitioner's Tentative Plat shows the subdivision of the existing lot into two 10,000-square foot, 50-foot wide lots with a 30-foot building setback. The proposed public utility easements are five feet on the sides, ten-feet on the front, and ten-feet on the rear of each property.

Compliance with the Comprehensive Plan

There are several parts of the 2019 Des Plaines Comprehensive Plan that align with the proposed project. Those portions are as follows:

- Under Overarching Principles:
 - The Comprehensive Plan seeks to promote a wider range of housing options and to encourage the reinvestment and preservation of established Des Plaines neighborhoods through the addition of new housing to fit diverse needs. The proposal seeks to reinvest in this vacant lot and provide additional housing options in this established neighborhood.
- Under Land Use Plan:
 - A primary goal of the Comprehensive Plan is to preserve and enhance established single-family neighborhoods while also expanding newer housing options. The proposal matches the existing character of the neighborhood and provides modern housing options that are prevalent in the immediate vicinity.
- Under Future Land Use Map:
 - The property is marked for Single-Family Residential land uses. These areas are designated for detached single-family residences to maintain and improve housing options for residents. The proposed use will transform an existing residential lot with one residence and provide an additional single-family housing option for the community as a whole.

While the aforementioned bullet points are only a small portion of the Comprehensive Plan, there is a large emphasis on maintaining detached single-family zoning areas and promoting the expansion of these developments to increase housing options for residents. The petitioner is proposing to take a 0.459-acre vacant parcel for future development of two new residences for the community.

Variation Findings: Variation requests are subject to the standards set forth in Section 12-3-6(H) of the 1998 City of Des Plaines Zoning Ordinance, as amended.

1. **Hardship: No variation shall be granted pursuant to this subsection H unless the applicant shall establish that carrying out the strict letter of the provisions of this title would create a particular hardship or a practical difficulty:**

Comment: Requiring the petitioner to adhere to the minimum 55-foot lot width requirement would limit development on this property to one residence and would not meet the goals and objectives of the Comprehensive Plan to foster growth of residential areas and provide additional housing options. Furthermore, surrounding properties in the area have similar lot widths as the proposal. Please see the Petitioner's responses to Standards for Variations.

2. **Unique Physical Condition: The subject lot is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject lot that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot:**

Comment: The existing property was platted with its current dimensions before the code was updated from a minimum lot width of 50-feet to 55-feet. Under the previous code, the property would have met the standards for a subdivision. However, the property is land-locked so it cannot be expanded to meet the requirements. Please see the Petitioner's responses to Standards for Variations.

- 3. Not Self-Created: The aforesaid unique physical condition is not the result of any action or inaction of the owner or its predecessors in title and existed at the time of the enactment of the provisions from which a variance is sought or was created by natural forces or was the result of governmental action, other than the adoption of this title:**

Comment: The unique physical condition is not the result of the current owner or previous owners as the property was platted long before the zoning code update to change the minimum lot width required from 50-feet to 55-feet. Additionally, there is not a way for the petitioner to widen the lot to meet the 55-foot lot width requirement. Please see the Petitioner's responses to Standards for Variations.

- 4. Denied Substantial Rights: The carrying out of the strict letter of the provision from which a variance is sought would deprive the owner of the subject lot of substantial rights commonly enjoyed by owners of other lots subject to the same provision:**

Comment: Carrying out the strict letter of the code would prevent the petitioner from subdividing the existing property for use of two single family residences as many of the surrounding properties have done, which would deny them the substantial rights of neighboring property owners. A majority of the existing lots in this area are less than 55-feet wide and do not meet the current minimum 55-foot lot width requirement. Please see the Petitioner's responses to Standards for Variations.

- 5. Not Merely Special Privilege: The alleged hardship or difficulty is neither merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely the inability of the owner to make more money from the use of the subject lot:**

Comment: The variation request would not provide the petitioner with any special privilege that is not already enjoyed by many of the surrounding property owners or allow him to make more money from the property. The petitioner does not plan to develop these lots at this time, but rather to subdivide them for future development. Please see the Petitioner's responses to Standards for Variations.

- 6. Title And Plan Purposes: The variation would not result in a use or development of the subject lot that would be not in harmony with the general and specific purposes for which this title and the provision from which a variation is sought were enacted or the general purpose and intent of the comprehensive plan:**

Comment: The proposal would result in the future development of this site that would be in harmony with the specific purposes of Section 12-3-6 of the Zoning Ordinance or the Comprehensive Plan. This proposal sets to develop this vacant property into two separate lots to add residential options in Des Plaines. Please see the Petitioner's responses to Standards for Variations.

- 7. No Other Remedy: There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject lot.**

Comment: There is no way that the petitioner can alter the dimensions of the property to meet the 55-foot minimum lot width requirement, as the property is land-locked by developed properties. The variation is required for the petitioner to create two residential lots and expand housing options in Des Plaines. Please see the Petitioner's responses to Standards for Variations.

- 8. Minimum Required: The requested variation is the minimum measure of relief necessary to alleviate the alleged hardship or difficulty presented by the strict application of this title.**

Comment: The variation request is the minimum measure of relief necessary to allow the petitioner to create two residential lots out of the large existing vacant lot. Please see the Petitioner's responses to Standards for Variations.

Recommendation: Staff recommends approval of the request for a Tentative Plat of Subdivision pursuant to 13-2 of the Des Plaines Subdivision Ordinance and the Standard Variation request for lot width pursuant to Section 12-3-6 of the Des Plaines Zoning Ordinance.

Planning and Zoning Board Procedure: Under Section 13-2-7 (Approval of Tentative Plat By Planning and Zoning Board) of the Subdivision Ordinance and Section 12-3-6 (Approval of Variations), the Planning and Zoning Board has the authority to approve, approve subject to conditions, or deny the above-mentioned Tentative Plat of Subdivision and Standard Variation request for the property at 1418-1424 Wedgewood Avenue.

Attachments:

Attachment 1: Project Narrative

Attachment 2: Responses to Standards

Attachment 3: Location Map

Attachment 4: Plat of Survey

Attachment 5: Tentative Plat of Subdivision

Attachment 6: Preliminary Engineering Plans

Attachment 7: Site and Context Photos



1418-1424 Wedgewood, Des Plaines PROJECT NARRATIVE

April 22, 2021

We are requesting the ability to subdivide 1418-1424 Wedgewood (PIN 09-19-405-009-0000) into 2 separate parcels. The property is 100' wide by 200' deep and is located within the R-1 zoning district. Each parcel after subdividing would be 50' x 200' deep.

LOCATION:

The property is located to the north of Oakton and west of Wolf Road. The nearest cross streets of the block are Forest Avenue and Lincoln Avenue.

COMPOSTION OF THE BLOCK

14 of the 17 properties on Wedgewood between Forest Avenue and Lincoln Avenue are 50x200 deep lots. Only 2 other lots on the block are larger than 50' wide. As such, the 2 new subdivided lots will be similar to the majority of the other lots on the block as they will be the same width, depth, and overall size.


COMPARISON TO CURRENT R1 ZONING REQUIREMENTS

	REQMTS	PROPOSED
Bulk Controls	R-1	
Maximum height	2½ stories to 35 ft.	WILL COMPLY DURING BLDG
Minimum front yard	25 ft.	WILL COMPLY DURING BLDG
Minimum side yard	5 ft.	WILL COMPLY DURING BLDG
Minimum rear yard	25 ft. or 20% of lot depth, whichever is less	WILL COMPLY DURING BLDG
Maximum rear yard coverage	60% ¹	WILL COMPLY DURING BLDG
Minimum lot width:		

	Interior	55 ft.	50'
	Corner	65 ft.	na
Minimum lot area:			
	Interior	6,875 sq. ft.	10,000
	Corner	8,125 sq. ft.	na
Maximum building coverage:			
	Interior	30%	WILL COMPLY DURING BLDG
	Corner	35%	NA
Minimum corner side yard		10 ft. ³	NA

As you can see above, we comply or will comply with all other zoning requirements.

Please feel free to contact me with any questions or further insight you might need.

DocuSigned by:

E76528764A1E471...

Daniel Beniek
Owner
Skycrest Homes LLC
26303 W Merton Rd
Barrington, IL 60010
847-732-1391
dan@skycresthomes.com

1424 Wedgewood

PIN 09-19-405-009-0000

STANDARDS FOR VARIATIONS

In order to understand your reasons for requesting a variation, please answer the following items completely and thoroughly (two to three sentences each). Variation applicants must demonstrate that special circumstances or unusual conditions prevent them from following the specific regulations of their zoning district. Applicants must prove that the zoning regulations, in combination with the uncommon conditions of the property, prevents them from making any reasonable use of the land. Keep in mind that no variation may be granted that would adversely affect surrounding properties or the general neighborhood.

1. Hardship: No variation shall be granted pursuant to this subsection H unless the applicant shall establish that carrying out the strict letter of the provisions of this title would create a particular hardship or a practical difficulty.

We are requesting a zoning variance for relief on the requirements of lot width for R1 residential zoning. The R1 zoning previously required 50' lot width but was updated to 55'. There are currently 14 lots on Wedgewood that are 50' wide. We are requesting the ability to subdivide our 100 x200 lot into 2 – 50x200 lots. We meet all other R1 zoning requirements.

2. Unique Physical Condition: The subject lot is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject lot that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot.

Our lot is 100 x 200 and we would like to subdivide it into 2 lots that would be 50 x200. 14 other lots on Wedgewood are 50 x 200. Thus, our subdivided lots would be consistent with others on the street. In addition, we meet all other requirements (10,000sf lots vs 6,875sf required, 25' front and rear setback, 5' sideyard, and etc).

3. Not Self-Created: The aforesaid unique physical condition is not the result of any action or inaction of the owner or its predecessors in title and existed at the time of the enactment of the provisions from which a variance is sought or was created by natural forces or was the result of governmental action, other than the adoption of this title.

The variance is needed due to a change in the R1 zoning and not due to action or inaction by any prior or current property owner. The R1 zoning previously allowed 50' wide lots. The variance is only required due to the R1 zoning update related to the minimum lot width requirement.

4. Denied Substantial Rights: The carrying out of the strict letter of the provision from which a variance is sought would deprive the owner of the subject lot of substantial rights commonly enjoyed by owners of other lots subject to the same provision.

The inability to subdivide the existing 100x200 lot into 2 lots of 50x200 would deprive us of being able to have comparable lot sizes to the majority of the other on the street (14 of the 17 lots on Wedgewood are 50' wide). The current lot size isn't the highest and best use of the property as evidenced by the majority of the other newer homes on the street being 50' wide.

5. Not Merely Special Privilege: The alleged hardship or difficulty is neither merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely the inability of the owner to make more money from the use of the subject lot.

We don't believe this is special privilege given the majority of the lots on the street are 50' wide which we are seeking. We are requesting to be allowed to subdivide with the same requirements as the other lot owners on the street. The depth and overall square footage of the lot is well in excess of R1 zoning requirements.

6. Title And Plan Purposes: The variation would not result in a use or development of the subject lot that would be not in harmony with the general and specific purposes for which this title and the provision from which a variation is sought were enacted or the general purpose and intent of the comprehensive plan.

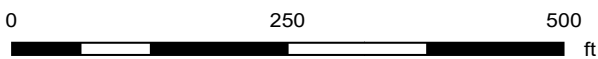
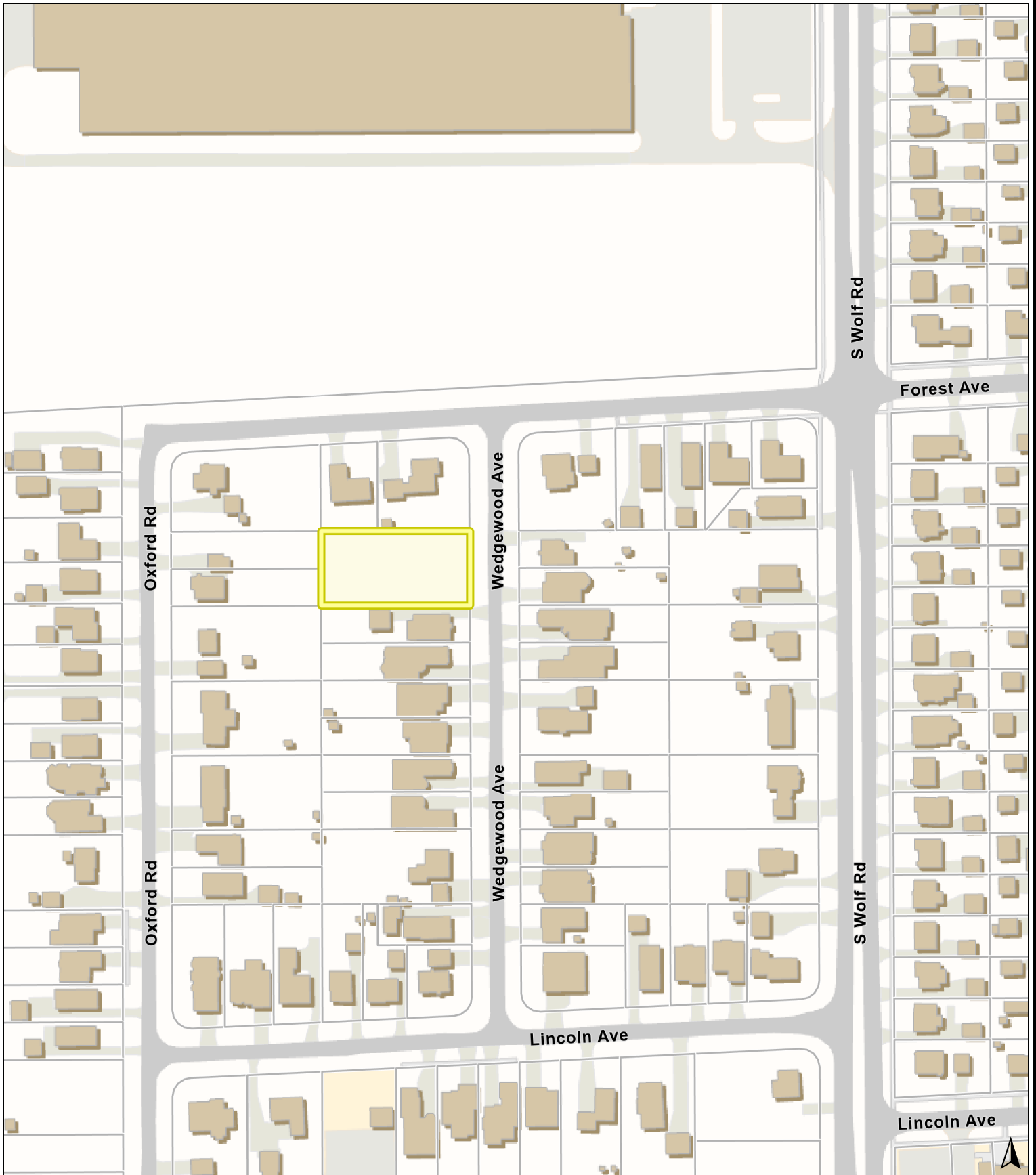
We are seeking to minor variance for the lot width going from the required 55' to 50' width which is a 10% change and is within the max 30% maximum allowed change per Section 12-3-6-E- 1A of the zoning code.

7. No Other Remedy: There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject lot.

There are no other ways that would allow us to offer similar size lots, square footage of homes, and price point comparable to the neighbors on Wedgewood. In addition, we don't have the ability to re-orientate that lot, acquire additional property from an adjoining neighbor or etc to comply with the updated R1 zoning for lot width.

8. Minimum Required: The requested variation is the minimum measure of relief necessary to alleviate the alleged hardship or difficulty presented by the strict application of this title.

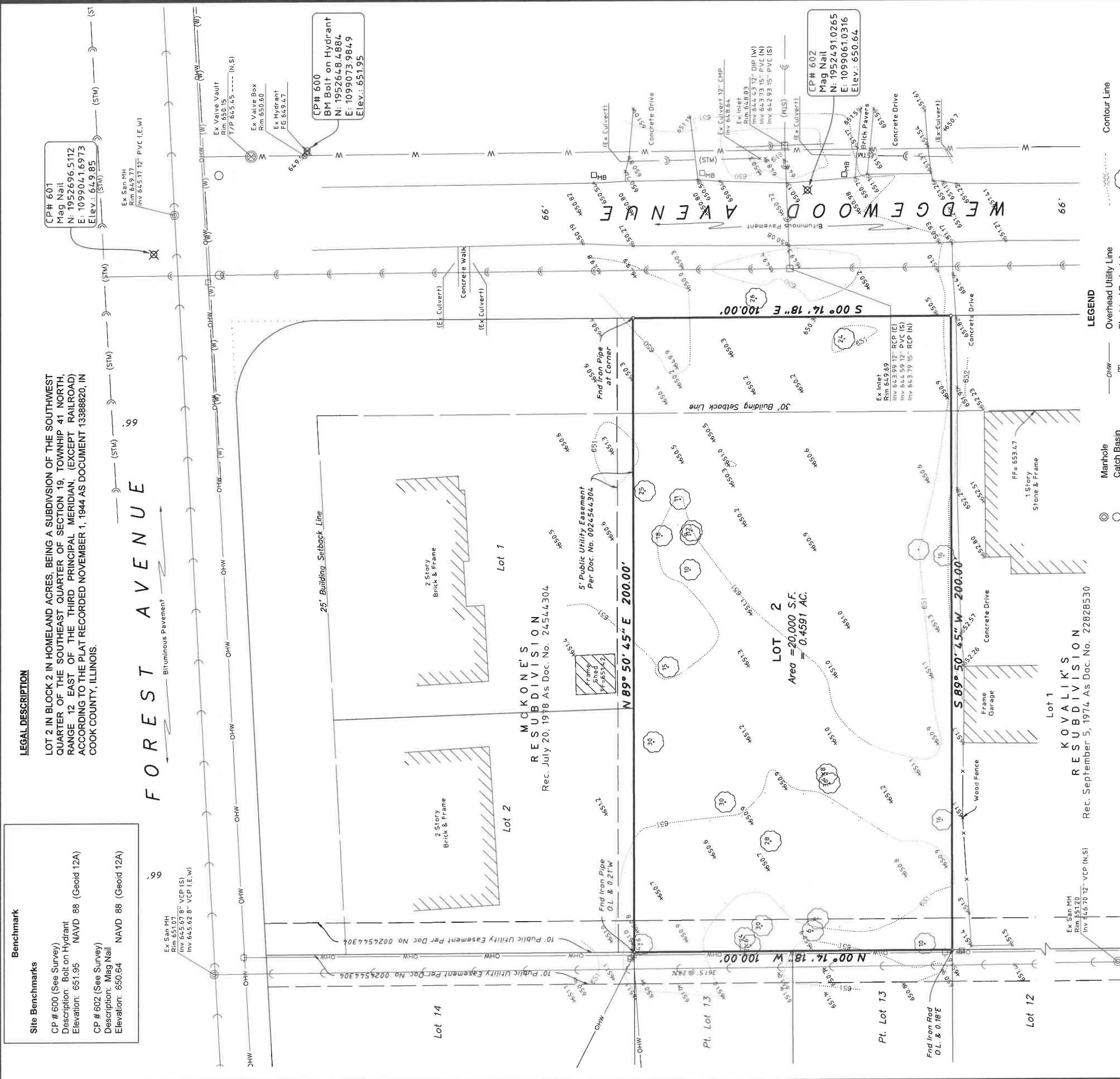
We are requesting the minimum relief necessary to alleviate the hardship. We meet all other R1 zoning requirements. The only relief we are requesting is to be allowed 50' wide which previously was allowed and exists for the majority of the properties on Wedgewood.



Print Date: 6/1/2021

Notes

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



Surveyor's Notes:

1. Field work was completed on February 11, 2021.
2. The Horizontal coordinates and basis of bearing shown hereon are based on NAD 83(2011) Illinois East Zone 1201 State Plane Coordinates as referenced from Kara Company's RTK Network.
3. The Vertical Datum referenced hereon is based on NAVD 88 (Geoid 12A) as referenced from Kara Company's RTK Network.
4. Due to heavy snow coverage at the subject property while conducting the field work, Haeger Engineering, LLC makes no guarantees that the improvements shown comprise all such improvements for this site.
5. A title commitment policy was not provided for this survey. This property may be subject to easements and/or restrictions not provided to the surveyor prior to the completion of this survey.
6. Utility information shown hereon is based upon field measurements, available records. Information from field data is limited to that which is visible and can be measured. This survey does not exclude the possibility of the existence of other underground utilities and structures. Record information is based upon data collected from both public and private sources. The completeness and/or accuracy of these records cannot be guaranteed, except for those items that can be verified by field measurement. Prior to any excavation contact J.U.L.I.E (1-800-892-0123).

BOUNDARY & TOPOGRAPHIC SURVEY
1418-1424 Wedgewood Avenue
Des Plaines, Illinois

Project Manager: MLA
 Drafter: TSK
 Date: 2021-02-19
 Project No: 21028
 Sheet: 1

Ordered By: Skycrest
 Order No.: 21028 Lot No. 2

Expires: 11-30-22

By: *Jan M. Kleinjan*
 Illinois Professional Land Surveyor No. 3760

February 19, 2021

Schaumburg, Illinois

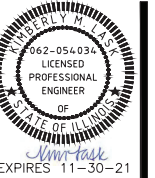
This professional service conforms to the current Illinois minimum standards for a boundary and topographic survey.

Scale: 1" = 20'

PRELIMINARY ENGINEERING PLANS SKYCREST SUBDIVISION

1418-1424 WEDGEWOOD AVENUE

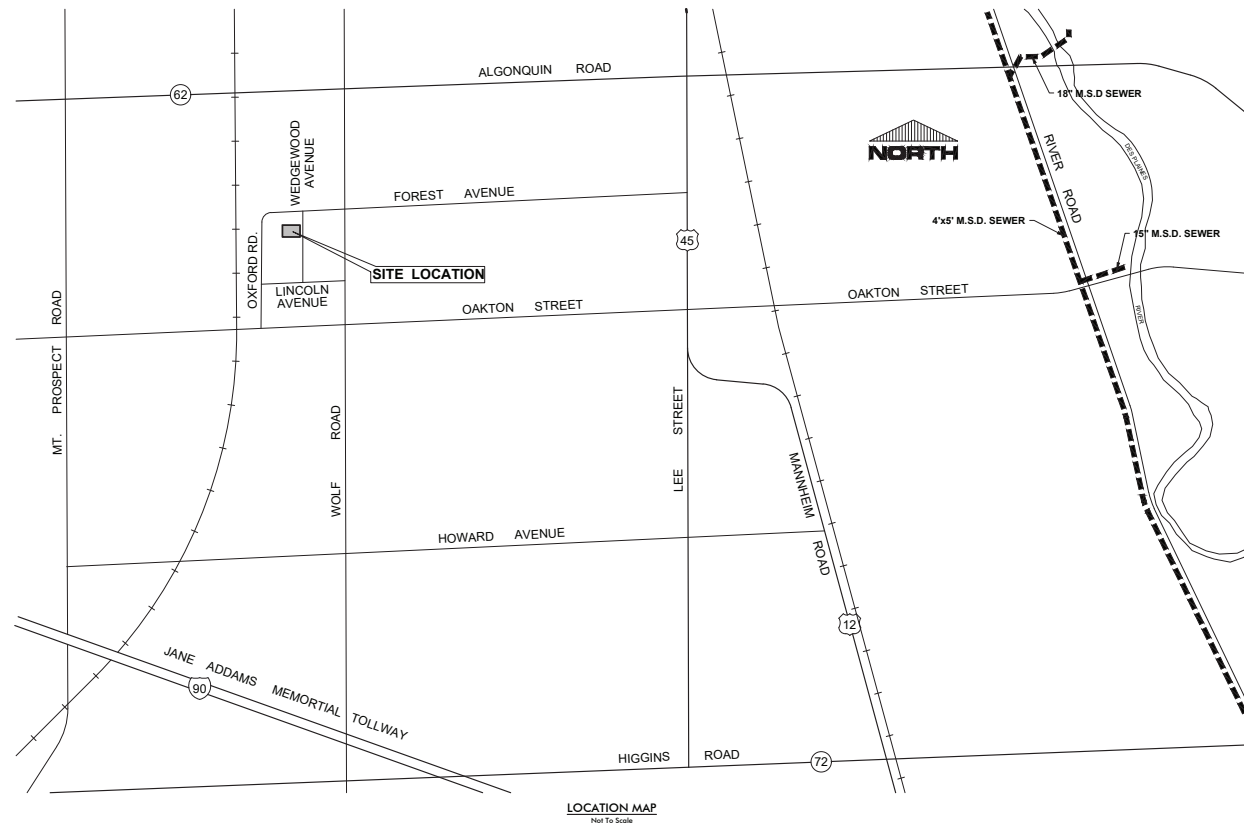
SECTION 19 TOWNSHIP 41 NORTH RANGE 12 EAST CITY OF DES PLAINES, ILLINOIS COOK COUNTY



OWNER:
Skycrest Homes LLC
26303 W. Merton
Barrington, IL 60010

PREPARED BY:
Haeger Engineering LLC
Illinois Prof. Design Firm #184-003152
100 E. State Parkway
Schaumburg, IL 60173
Tel: 847-394-6600
Fax: 847-394-6608
www.haegerengineering.com

CITY OF DES PLAINES
1420 Miner Street
Des Plaines, IL 60016
Tel: 847-391-5300



LOCATION MAP
Not To Scale

BENCHMARKS:

City BM #54
Description : Monument set in concrete on the S. side of Oakton at Maine West H.S. 8' West of W Drive of Maine West Parking Lot and 15' South of E/P of Oakton
Elevation: 651.32 NAVD 88 (Geoid 12A)
Northing: 1,951,415.22 Easting: 1,100,582.21

Site Benchmarks

CP # 600 (See Survey)
Description: Bolt on Hydrant
Elevation: 651.95 NAVD 88 (Geoid 12A)

CP # 602 (See Survey)
Description: Mag Nail
Elevation: 650.64 NAVD 88 (Geoid 12A)

INDEX TO SHEETS	
NO.	DESCRIPTION
C1.0	TITLE SHEET
C2.0	GENERAL NOTES AND SPECIFICATIONS
C2.1	GENERAL NOTES AND SPECIFICATIONS
C3.0	DEMOLITION, GRADING, AND UTILITY PLAN
C4.0	SOIL EROSION CONTROL PLAN AND DETAILS
C5.0	STANDARD DETAILS

Existing Symbol	Description	Proposed Symbol
	Storm Sewer Manhole	
	Catch Basin	
	Inlet	
	Flared End Section	
	Headwall	
	Area Drain	
	Sanitary Sewer Manhole	
	Clean Out	
	Storm Sewer	
	Storm Sewer Service	
	Perforated Underdrain	
	Sanitary Sewer	
	Sanitary Sewer Service	
	Combined Sewer	
	Force Main	
	Water Main	
	Water Main Service	
	Fire Hydrant	
	Valve Vault	
	Valve Box	
	B-Box	
	Well Head	
	Light Pole	
	Light Pole With Mast Arm	
	Traffic Signal	
	Traffic Signal With Mast Arm	
	Hand Hole	
	Fence	
	Guardrail	
	Pipe Bollard	
	Sign	
	Gas Valve	
	Gas Line	
	Electric Line	
	Overhead Utility Line	
	Fiber Optic Line	
	Electrical Pedestal	
	Electric Manhole	
	Guy Wire	
	Utility Pole	
	Telephone Pedestal	
	Telephone Manhole	
	Telephone Line	
	Cable TV Line	
	Cable TV Pedestal	
	Flagpole	
	Mailbox	
	Handicapped Parking Stall	
	Number of Parking Stalls	
	Curb & Gutter	
	Reverse Pitch Curb & Gutter	
	Depressed Curb	
	Retaining Wall	
	Curb Elevation and Gutter/Pavement Elevation	
	Pavement Elevation	
	Sidewalk Elevation	
	Ground Elevation	
	Top of Wall Elevation	
	Bottom of Wall Elevation	
	Open Lid Frame & Grate	
	Closed Lid Frame & Lid	
	Swale	
	Hardscape Flow	
	Softscape Flow	
	Contour Line	
	Wetland	
	Wetland Buffer	
	Normal Water Level	
	High Water Level	
	Flood Plain	
	Flood Way	
	Deciduous Tree	
	Coniferous Tree	
	Bush	
	Brushline	
	Soil Boring	
	Over Land Flow Route	
	Recommended Garage Hand With Driveway Slope	



Know what's below.
Call before you dig.

Note: Call 811 at least 48 hours, excluding weekends and holidays, before you dig.

HAEGER ENGINEERING
consulting engineers • land surveyors
100 East State Parkway, Schaumburg, IL 60173 • 847-394-6608 Fax: 847-394-6608
Illinois Professional Design Firm License No. 184-003152
www.haegerengineering.com

TITLE SHEET
PRELIMINARY ENGINEERING PLANS
SKYCREST SUBDIVISION
CITY OF DES PLAINES, ILLINOIS

Project Manager: K.M.L.
Engineer: K.M.L.
Date: 03-26-2021
Project No. 21-028
Sheet C1.0 of C5

City Comments, Revised Drainage Structures

Date

No.

Revision

GENERAL NOTES

- 1. Definition of Terms:
a. 'Owner' shall mean the person or entity with which Haeger Engineering, LLC has been contracted...
b. 'Engineer' shall mean Haeger Engineering, LLC.
c. 'Contract Documents' shall mean the contract, municipal, county, township, state or federal entity of government or other entity having jurisdiction of some aspect of the project from whom approval, permit and/or review and approval was required.
2. The Specifications governing this project are as follows:
a. All applicable Village/City and other applicable Jurisdictional Agency Ordinances, Codes, Regulations, Policies, Specifications, Standards, etc.
b. Roadway and Earthwork construction shall conform to the Illinois Department of Transportation (IDOT) 'Standard Specifications for Road and Bridge Construction', latest edition and any subsequent 'Supplemental Specifications and Recurring Special Provisions' as well as any applicable IDOT Highway Standards.
3. Contract Documents:
a. The Engineer's Plans and Specifications shall be included as part of the Contract Documents.
b. All Contractors shall carefully examine the Plans and Specifications, and other Contract Documents prepared for the work.
4. Should any apparent errors, omissions, discrepancies or conflicts be discovered on the Plans, Specifications, Quantities or other Contract Documents by the Contractor, whether prior to or after the award of the contract, the Engineer's attention shall be called to the same before work is begun thereon, so that proper clarification can be provided or revision made.
5. Whenever the performance of work is indicated on the Plans, and no specific item is included in the Contract for payment, the work shall be considered incidental to the Contract and no additional compensation will be allowed.
6. The base plan/drawing for the Engineering Plans (existing conditions, site topography, utilities, rights-of-way, etc.) was obtained from the topographic survey prepared by:
Haeger Engineering, LLC
100 East State Parkway, Schaumburg IL 60173
847-394-6600
2021-028
February 19, 2021
7. The Owner shall obtain the necessary approvals from the following Jurisdictional Agencies:
a. City of Des Plaines
b. Metropolitan Water Reclamation District of Greater Chicago (MWRD)
8. The Contractor, unless otherwise agreed upon in writing with the Owner prior to the start of Construction, shall at his own expense, obtain all other approvals including permits, licenses, etc., as may be required for the execution of this work as well as provide all necessary notices, pay all fees required, post bonds, obtain all necessary insurance, and comply with all laws, ordinances, rules, and regulations relating to the work and to the preservation of public health and safety.
9. No work shall proceed until the appropriate permit or permits have been obtained for the item or items to be constructed.
10. The Contractor shall indemnify and hold harmless the Owner, Engineer, Village/City, and other Jurisdictional Agencies as well as all of their respective officers, employees, agents, and Engineers from and against all losses, claims, demands, payments, suits, actions, recoveries, and judgments of every nature and description brought or recovered against them, by reason of any act, error or omission of said Contractor, their agents or employees in the execution of the work or in the guarding of it.
11. The construction shall be under the general inspection and observation of the designated individual authorized by the Village/City or other applicable Jurisdictional Agencies.
12. The location of existing underground utilities such as water mains, sewers, gas lines, electric lines, cable TV lines, fiber optic lines, etc., as shown on the Plans, has been determined from the best available information and has been provided for the Contractor's review. However, the Owner, Engineer and Engineer do not assume responsibility in the event that during construction, utilities other than those shown may be encountered and that the actual location of those which are shown may be different from the location as shown on the Plans.
13. In some instances, the existing utilities are shown on the Plans according to information obtained from the utility companies (atlas information) and/or surveys performed by Others. The Owner and Engineer do not guarantee the accuracy or completeness of this information.
14. The Contractor will be required to cooperate with all utility companies involved in connection with the removal, temporary rerouting, construction, reconstruction or abandonment by these companies of any and all services or facilities served or operated by them within the limits or general vicinity of the proposed improvements.
15. Before doing any work which will damage, disturb or leave unsupported, or unprotected any utility lines

- or related appurtenances encountered, the Contractor shall notify the respective Owner thereof, who will make all arrangements for relocating, adjusting, bracing, otherwise maintaining or abandoning all service on lines that fall within the limits of the proposed construction without cost to the Contractor, including the removal of all cables, manhole covers and other related appurtenances which the Owner desires to salvage.
16. No extra compensation will be allowed by the Contractor for any expense incurred for complying with all of these aforementioned utility coordination and cooperation requirements, or because of delays, inconvenience or interruptions in their work resulting from the failure of any utility company to remove, relocate, construct, reconstruct or abandon their services.
17. Prior to commencing work, the Contractor is to field check and verify all critical locations, elevations, dimensions, and dimensions of existing structures, and notify the Engineer of any discrepancies.
18. The Contractor shall maintain positive drainage at all times during construction.
19. Prior to commencement of work, the Contractor is to field check and verify all critical locations, elevations, dimensions, and dimensions of existing structures, and notify the Engineer of any discrepancies.
20. No construction activities, disturbance or fill shall occur within the limits of natural resources such as wetlands, floodplains, creeks, streams, ponds, lakes, bays, reservoirs, etc.
21. The Contractor shall confine their activities within the project boundaries, work areas, or easements specified.
22. The Contractor is responsible for returning all areas affected by equipment, materials and/or laborers to pre-construction condition or better.
23. Clean-up and final restoration shall be performed immediately upon completion of each phase of the work.
24. All proposed grades shown on the Plans shall be considered to be finished grade surface elevations unless noted otherwise.
25. Construction staking/layout shall be provided by the Contractor and shall be included in the Contract Price unless otherwise agreed upon in writing with the Owner prior to the start of Construction.
26. The Contractor shall observe and comply with all the Occupational Safety and Health Administration (OSHA) standards, rules and regulations, as well as any other applicable local, state and federal safety requirements.
27. The Contractor shall take whatever steps necessary to protect the public from open trenches, excavations, and other site obstructions or hazards.
28. During construction the Contractor and their Sub-Contractors shall keep the premises clean by removing all rubbish, debris, waste material and other accumulations as necessary.
29. The Contractor shall take whatever steps necessary to protect the public from open trenches, excavations, and other site obstructions or hazards.
30. The Contractor shall have appropriate equipment and materials including street sweepers and rollers available on-site at all times whenever the work is in progress.
31. The Contractor shall at all times maintain proper dust control at the site and shall have a watering truck readily available during all working hours.
32. The Contractor shall water the entire site whenever the site conditions become unhealthy due to blowing soil or dust.
33. Trees not marked for removal shall be protected as necessary by the Contractor.
34. Where overhanging branches, limbs, or roots shall be trimmed or pruned as necessary in accordance with Section 201 of the IDOT Standard Specifications.
35. The Contractor is responsible for the installation and maintenance of adequate signs, traffic control devices, and warning devices, in accordance with the Plans, applicable IDOT Standard Specifications and the MUTCD Standards to inform and protect the public during all phases of construction.
36. Where noted in the Plans, the Contractor shall have Shop Drawings and any other required supporting documentation or calculations prepared and submitted for review and approval prior to any fabrication, placement, or construction.
37. The Contractor is responsible for having a set of approved Plans and Specifications with the latest revision date on the job site at all times during the construction period.

- 38. The Contractor shall maintain a clean, legible, undamaged set of Field Marked Construction Plans.
39. All work that is performed that is not in conformity with the Plans, Specifications or other Contract Documents or that is defective shall be removed and replaced, or otherwise corrected or remedied by and at the sole expense of the Contractor.
40. All work performed under the Plans, Specifications or other Contract Documents shall be guaranteed against all defects in materials and workmanship of whatever nature by the Contractor and his surety for a minimum period of 12 months from the date of final acceptance of the work by the Village/City.
41. Before acceptance by the Owner and prior to final payment all work shall be inspected and approved by the Owner or designated representative.
42. The Contractor shall have As-built or Record Drawings prepared and submitted to the Village/City and all other applicable Jurisdictional Agencies for approval after the completion of construction.
43. The Contractor shall coordinate all existing sewer, water, and other utilities, and further to ensure that proper stormwater conveyance is attained until the proposed improvements can be installed and placed into operation.
44. Clearing shall consist of the removal and legal disposal of all obstructions such as trees, hedges, fences, walls, accumulations of rubbish of whatever nature, and all logs, shrubs, brush, grass, weeds, and other vegetation that are designated to be removed.
45. All items shown to be removed on the Plans including items not specifically noted but necessary to be removed to construct the proposed improvements shall be demolished or removed as necessary and disposed of legally off-site or as approved by the Owner.
46. Existing utilities to be disconnected shall be done so at the main or as directed by the applicable Jurisdictional Agency or as noted on the Plans.
47. Utilities marked to be abandoned shall be abandoned as required by the applicable Jurisdictional Agency or as noted on the Plans.
48. All existing building services serving buildings that are to be removed shall be disconnected and removed as required by the applicable Jurisdictional Agency.
49. All existing wells shown on the Plans to be abandoned or that are discovered during the course of construction shall be exposed and cut-off three (3) feet below the proposed finished grade and sealed by the Contractor in accordance with Section 920 of the 'Illinois Water Well Construction Code', latest edition, or as required by the Health Department or by any other Local, County, State or Federal rules and regulations.
50. All existing septic tanks, grease traps or similar shown on the Plans to be abandoned or that are discovered during the course of construction shall have all liquids and solids removed and disposed of legally off-site by a licensed commercial waste hauler in accordance with the requirements of the Health Department or as required by any Local, County, State or Federal rules and regulations.
51. Any material containing asbestos or other hazardous materials found within existing structures or other items shown to be removed in order to construct the proposed improvements shall be removed from the site and legally disposed of off-site by the Contractor in accordance with applicable County, State or Federal rules or regulations.
52. All fire access lanes or routes located within the existing project area shall remain in service, clean of debris, and accessible for use by emergency vehicles at all times while demolition and clearing work is being performed.
53. It shall be the responsibility of the Contractor to legally remove from the site any and all materials and debris which results from their demolition or clearing operations at no additional expense to the Owner.
54. Burning or incineration on the site is not permitted.

DEMOLITION AND CLEARING

- 1. The Contractor shall perform all demolition, clearing, grubbing, and tree removal and protection work in accordance with all applicable Federal, State, County and Local requirements or as noted in the Plans.
2. Prior to the commencement of any demolition or clearing activities, the Owner or Contractor shall obtain all applicable permits to disconnect the existing utility services for each building proposed for demolition.
3. The Contractor shall coordinate all demolition work with the Village/City, utility companies, and other agencies along with the Contractor and other entities, and further to ensure that proper stormwater conveyance is attained until the proposed improvements can be installed and placed into operation.
4. Clearing shall consist of the removal and legal disposal of all obstructions such as trees, hedges, fences, walls, accumulations of rubbish of whatever nature, and all logs, shrubs, brush, grass, weeds, and other vegetation that are designated to be removed.
5. All items shown to be removed on the Plans including items not specifically noted but necessary to be removed to construct the proposed improvements shall be demolished or removed as necessary and disposed of legally off-site or as approved by the Owner.
6. Existing utilities to be disconnected shall be done so at the main or as directed by the applicable Jurisdictional Agency or as noted on the Plans.
7. Utilities marked to be abandoned shall be abandoned as required by the applicable Jurisdictional Agency or as noted on the Plans.
8. All existing building services serving buildings that are to be removed shall be disconnected and removed as required by the applicable Jurisdictional Agency.
9. All existing wells shown on the Plans to be abandoned or that are discovered during the course of construction shall be exposed and cut-off three (3) feet below the proposed finished grade and sealed by the Contractor in accordance with Section 920 of the 'Illinois Water Well Construction Code', latest edition, or as required by the Health Department or by any other Local, County, State or Federal rules and regulations.
10. All existing septic tanks, grease traps or similar shown on the Plans to be abandoned or that are discovered during the course of construction shall have all liquids and solids removed and disposed of legally off-site by a licensed commercial waste hauler in accordance with the requirements of the Health Department or as required by any Local, County, State or Federal rules and regulations.
11. Any material containing asbestos or other hazardous materials found within existing structures or other items shown to be removed in order to construct the proposed improvements shall be removed from the site and legally disposed of off-site by the Contractor in accordance with applicable County, State or Federal rules or regulations.
12. All fire access lanes or routes located within the existing project area shall remain in service, clean of debris, and accessible for use by emergency vehicles at all times while demolition and clearing work is being performed.
13. It shall be the responsibility of the Contractor to legally remove from the site any and all materials and debris which results from their demolition or clearing operations at no additional expense to the Owner.
14. Burning or incineration on the site is not permitted.

EARTHWORK AND GRADING

- 1. All earthwork and grading activities shall be performed in accordance with the IDOT Standard Specifications or as noted in the Plans.
2. Any earthwork quantities, calculations, summaries that have been furnished by the Engineer are for information purposes only and are provided without any guarantee by the Owner or Engineer whatsoever as to their sufficiency or accuracy.
3. The soil boring reports for the subject property can be obtained from the Owner.
4. Erosion control silt fence, stabilized construction entrance, inlet protection, etc. shall be installed by the Contractor prior to the start of demolition, clearing and mass grading.
5. All earthwork and grading operations are to be supervised and inspected by a qualified Geotechnical/Soils Engineer or their designated representative.
6. A qualified Geotechnical/Soils Engineer or their designated representative shall observe the construction of the retention and detention areas including berming to ensure the areas will be capable of holding the designated normal and high water levels.
7. Topsoil stripping or excavation shall initially consist of the removal of the uppermost layers of organic soil and stockpiling at a location shown on the Plans, in another area deemed appropriate by the Contractor and approved by the Owner, or at a location specified by the Owner or Engineer.
8. Stripping of vegetation or ground cover, grading, or other soil disturbance activities shall be done in a manner which will minimize soil erosion.
9. The Contractor shall take precautionary measures to minimize earthwork and other activities in the areas where trees are to be saved or protected as to not cause injury to roots or trunks.
10. Embankment placement including preparation of existing ground surface prior to embankment placement and compaction shall be in accordance with Section 205 of the IDOT Standard Specifications.
11. All sanitary sewers, storm sewers and water mains as well as their services and other related appurtenances shall be constructed and tested in accordance with the 'Standard Specifications for Water and Sewer Construction in Illinois', latest edition, or in accordance with the requirements of the Village/City or applicable Jurisdictional Agency, whichever is more restrictive.
12. Rough grading shall be within one (1) foot of finished subgrade elevation shall be completed prior to the commencement of the underground utility construction.
13. Trench excavation, bedding and backfill, and compaction for sanitary sewers, storm sewers, water mains as well as their services and other related appurtenances shall be in accordance with applicable Trench Section Details.
14. When in the opinion of the Geotechnical/Soils Engineer, unsuitable soil conditions are encountered within utility trenches which require the removal of unsuitable materials below the depth of the bedding specified, the Contractor shall remove the unsuitable soils and replace the material with granular and compacted in the manner of the Village/City Engineer or applicable Jurisdictional Agency or other applicable Jurisdictional Agency.
15. All utility trenches for the proposed sanitary sewer, storm sewer, water main and services lying under or where the inner edge of the trench is within two (2) feet of any pavement area, curb, curb and gutter, stabilized shoulder, sidewalk, building, utility crossing or other structural area shall be backfilled with compacted granular bedding material and compacted as noted on the Plans.
16. The Contractor shall be responsible for dewatering any excavation for the installation of sanitary sewers, storm sewers, water mains as well as their services and other related appurtenances.
17. Conditions to be existing sanitary main shall be to an existing service stub, wye, tee, or manhole where possible.
18. Circular saw-cut of sewer main by proper tools ('sewer-tap' machine or similar) and proper installation of a suitable hub-wye saddle or hub-tee saddle.
19. 'Band-Seal' or similar flexible type couplings shall be used in the connection of sewer pipe of dissimilar edion, or as required by the Health Department or by any other Local, County, State or Federal rules and regulations.
20. The Contractor shall mark the locations of the ends of the service stubs with 4"x4" wood posts extending a minimum of three (3) feet above the ground.
21. All sanitary sewers, storm sewers, water mains as well as their services and other related appurtenances shall be thoroughly cleaned to the satisfaction of the Village/City, Owner, and Engineer as necessary during construction, prior to inspection and testing, and at the end of the project.
22. The cost of the cleaning, televising, and testing shall be considered incidental to the Contract.
23. All deficiencies and defects observed as well as any necessary corrective work required as the result of testing or televising inspection shall be performed by the Contractor at no additional cost to the Owner, and without delay.
24. All pipes and fittings shall be coated with an asphaltic coating per ANSI A21.51 and AWWA C151 for ductile iron pipe, and ANSI A21.10A21.53 and AWWA C110A21.53 for fittings.
25. Where water main quality pipe and joints are required to meet the water main protection requirements the sanitary sewer pipe shall be constructed from one or more of the following materials as specified on the Plans:
a. Polyvinyl Chloride (PVC) Pipe conforming to ASTM D3034 with a Standard Dimension Ratio (SDR) of 26 unless noted otherwise on the Plans with elastomeric gasket joints conforming to ASTM D3212 and F477.
b. Ductile Iron Pipe (DIP), Class 52, conforming to ANSI A21.51 and AWWA C151 with rubber gasket joints conforming to ANSI A21.11 and AWWA C111.
26. All sanitary manholes shall be constructed of precast reinforced concrete sections with tongue and groove joints conforming to ASTM C478 and shall have a minimum inside diameter of 48-inches.
27. External chimney seals shall be provided on all sanitary manholes and all sanitary manholes shall be provided in lieu of an eccentric cone section.
28. Flat top slabs shall conform to IDOT Standard Detail 602601 as well as meet the H-20/H8-20 loading requirement.
29. The Contractor shall remove all excess mastic on inside of structure and butter joints with mortar.
30. External chimney seals shall be provided on all sanitary manholes and all sanitary manholes shall be provided in lieu of an eccentric cone section.

- be constructed to a minimum 95% of the modified proctor density in accordance with ASTM D1557.
11. Topsoil respread shall consist of placing a minimum of a four (4) inch layer of topsoil or depth indicated on the Plans over the disturbed unworked areas within the construction limits.
12. The Plans shall be placed on all disturbed areas within the right-of-way and at other locations indicated on the Plans.
13. Refer to the Landscape Plans prepared by Others for additional information on the landscaping and ground cover requirements.
14. Completed subgrade grading and final finished grading for all proposed improvements shall be within a tolerance of plus or minus one-tenth (0.1) foot of the design elevation.
15. Contractor shall provide uniform slopes between proposed grades and smooth vertical curves/transitions through all high and low points.
16. The subgrade for the proposed streets and other pavement areas shall be pro-graded by the Village/City or other applicable Jurisdictional Agencies or applicable Jurisdictional Agency and the Geotechnical/Soils Engineer.
17. It shall be the responsibility of the Contractor to legally remove from the site any and all materials and debris which results from their construction operations at no additional expense to the Owner.
18. Burning or incineration on the site is not permitted.

SEWER AND WATER MAIN GENERAL NOTES

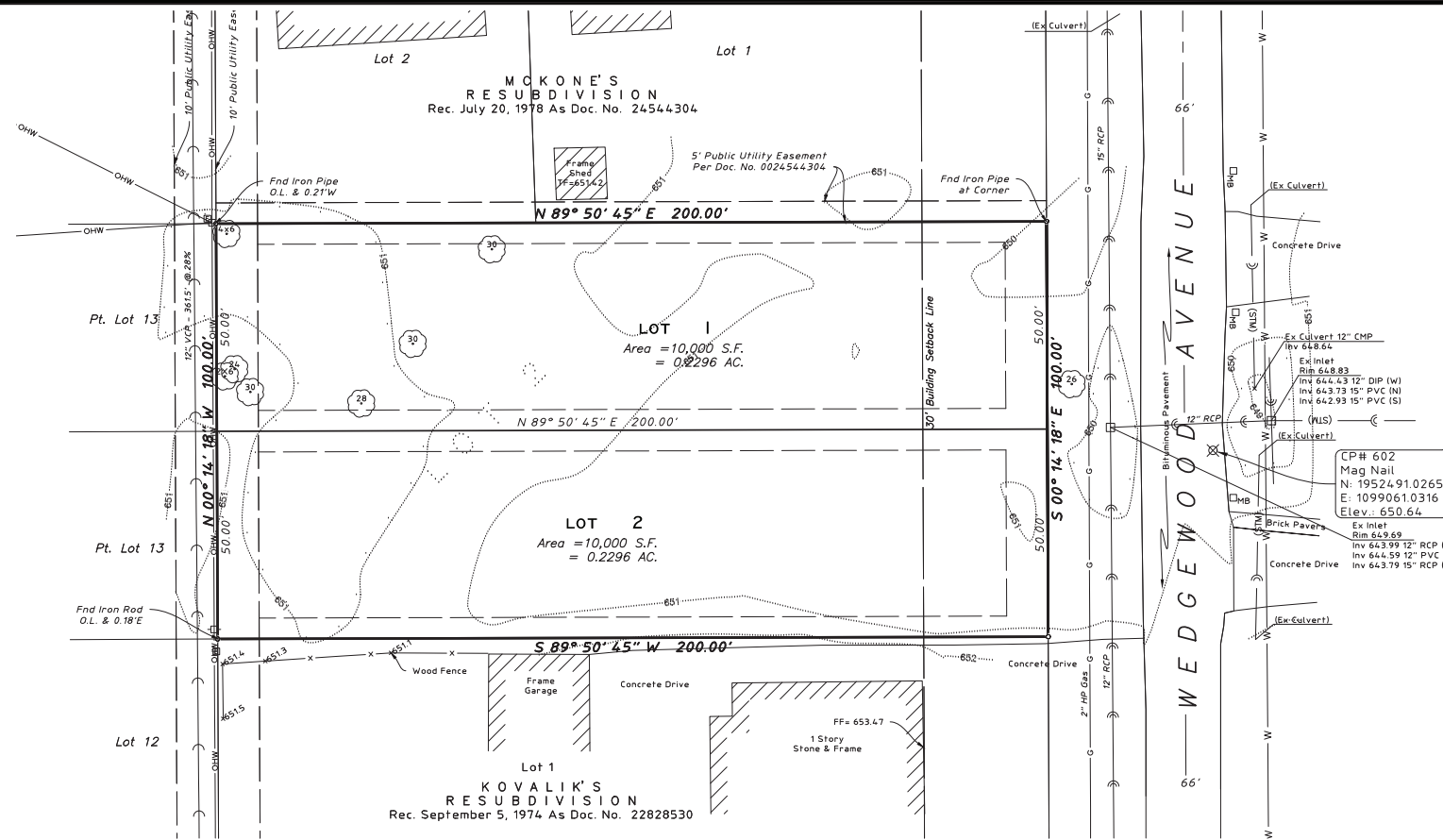
- 1. All sanitary sewers, storm sewers and water mains as well as their services and other related appurtenances shall be constructed and tested in accordance with the 'Standard Specifications for Water and Sewer Construction in Illinois', latest edition, or in accordance with the requirements of the Village/City or applicable Jurisdictional Agency, whichever is more restrictive.
2. Rough grading shall be within one (1) foot of finished subgrade elevation shall be completed prior to the commencement of the underground utility construction.
3. Trench excavation, bedding and backfill, and compaction for sanitary sewers, storm sewers, water mains as well as their services and other related appurtenances shall be in accordance with applicable Trench Section Details.
4. When in the opinion of the Geotechnical/Soils Engineer, unsuitable soil conditions are encountered within utility trenches which require the removal of unsuitable materials below the depth of the bedding specified, the Contractor shall remove the unsuitable soils and replace the material with granular and compacted in the manner of the Village/City Engineer or applicable Jurisdictional Agency or other applicable Jurisdictional Agency.
5. All utility trenches for the proposed sanitary sewer, storm sewer, water main and services lying under or where the inner edge of the trench is within two (2) feet of any pavement area, curb, curb and gutter, stabilized shoulder, sidewalk, building, utility crossing or other structural area shall be backfilled with compacted granular bedding material and compacted as noted on the Plans.
6. The Contractor shall be responsible for dewatering any excavation for the installation of sanitary sewers, storm sewers, water mains as well as their services and other related appurtenances.
7. Conditions to be existing sanitary main shall be to an existing service stub, wye, tee, or manhole where possible.
8. Circular saw-cut of sewer main by proper tools ('sewer-tap' machine or similar) and proper installation of a suitable hub-wye saddle or hub-tee saddle.
9. 'Band-Seal' or similar flexible type couplings shall be used in the connection of sewer pipe of dissimilar edion, or as required by the Health Department or by any other Local, County, State or Federal rules and regulations.
10. The Contractor shall mark the locations of the ends of the service stubs with 4"x4" wood posts extending a minimum of three (3) feet above the ground.
11. All sanitary sewers, storm sewers, water mains as well as their services and other related appurtenances shall be thoroughly cleaned to the satisfaction of the Village/City, Owner, and Engineer as necessary during construction, prior to inspection and testing, and at the end of the project.
12. The cost of the cleaning, televising, and testing shall be considered incidental to the Contract.
13. All deficiencies and defects observed as well as any necessary corrective work required as the result of testing or televising inspection shall be performed by the Contractor at no additional cost to the Owner, and without delay.
14. All pipes and fittings shall be coated with an asphaltic coating per ANSI A21.51 and AWWA C151 for ductile iron pipe, and ANSI A21.10A21.53 and AWWA C110A21.53 for fittings.
15. Where water main quality pipe and joints are required to meet the water main protection requirements the sanitary sewer pipe shall be constructed from one or more of the following materials as specified on the Plans:
a. Polyvinyl Chloride (PVC) Pipe conforming to ASTM D3034 with a Standard Dimension Ratio (SDR) of 26 unless noted otherwise on the Plans with elastomeric gasket joints conforming to ASTM D3212 and F477.
b. Ductile Iron Pipe (DIP), Class 52, conforming to ANSI A21.51 and AWWA C151 with rubber gasket joints conforming to ANSI A21.11 and AWWA C111.
26. All sanitary manholes shall be constructed of precast reinforced concrete sections with tongue and groove joints conforming to ASTM C478 and shall have a minimum inside diameter of 48-inches.
27. External chimney seals shall be provided on all sanitary manholes and all sanitary manholes shall be provided in lieu of an eccentric cone section.
28. Flat top slabs shall conform to IDOT Standard Detail 602601 as well as meet the H-20/H8-20 loading requirement.
29. The Contractor shall remove all excess mastic on inside of structure and butter joints with mortar.
30. External chimney seals shall be provided on all sanitary manholes and all sanitary manholes shall be provided in lieu of an eccentric cone section.

SANITARY SEWER

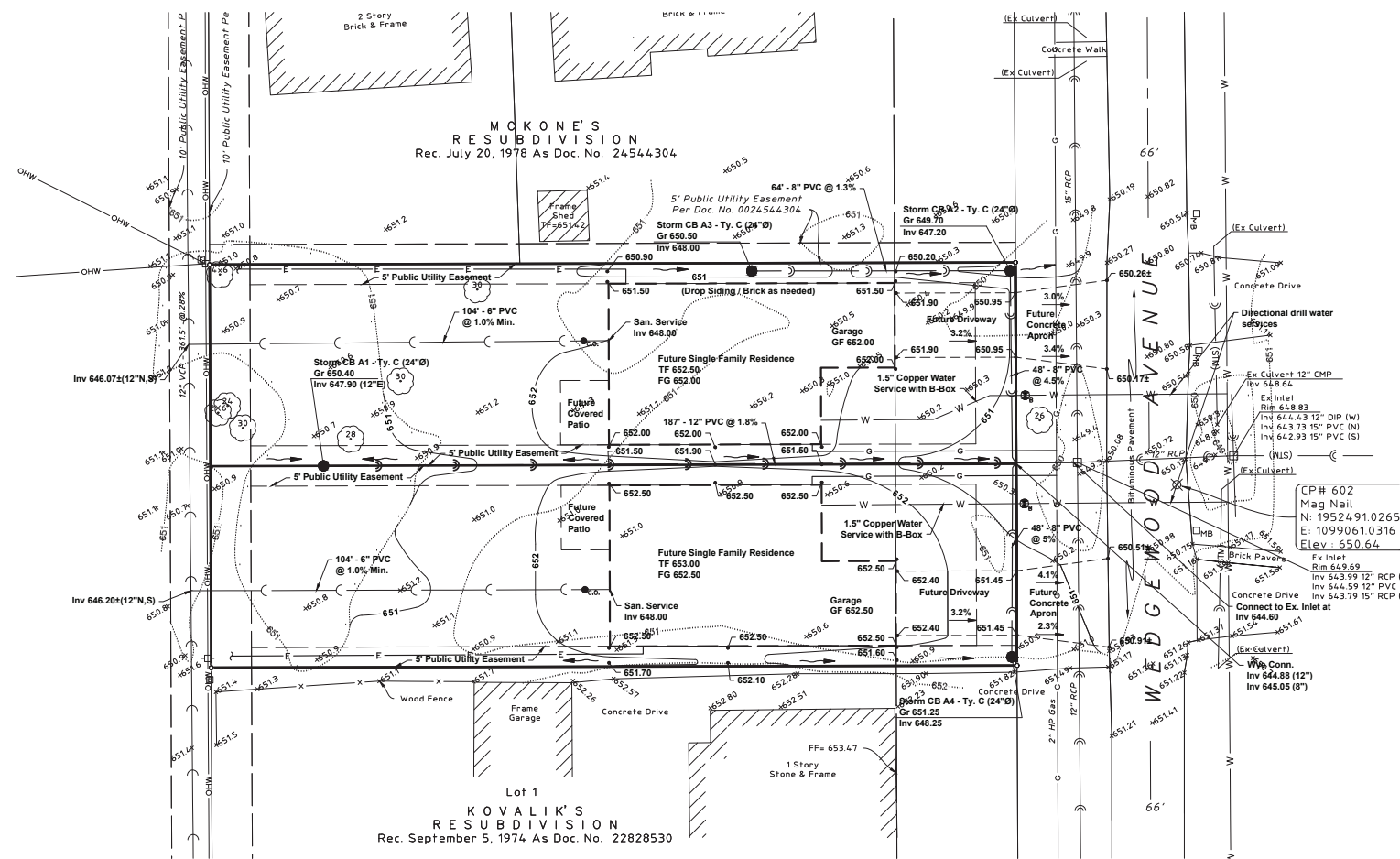
- 1. Refer to Sewer and Water Main General Notes for additional requirements.
2. Gravity Sanitary Sewer Pipe shall be constructed from one or more of the following materials as specified on the Plans:
a. Polyvinyl Chloride (PVC) Pipe conforming to ASTM D3034 with a Standard Dimension Ratio (SDR) of 26 unless noted otherwise on the Plans with elastomeric gasket joints conforming to ASTM D3212 and F477.
b. Ductile Iron Pipe (DIP), Class 52, conforming to ANSI A21.51 and AWWA C151 with rubber gasket joints conforming to ANSI A21.11 and AWWA C111.
3. Where water main quality pipe and joints are required to meet the water main protection requirements the sanitary sewer pipe shall be constructed from one or more of the following materials as specified on the Plans:
a. Polyvinyl Chloride (PVC) Pipe conforming to ASTM D2241 with a Standard Dimension Ratio (SDR) of 26 unless noted otherwise on the Plans with elastomeric gasket joints conforming to ASTM D3139 and F477.
b. Ductile Iron Pipe (DIP), Class 52, conforming to ANSI A21.51 and AWWA C151 with rubber gasket joints conforming to ANSI A21.11 and AWWA C111.
4. All sanitary manholes shall be constructed of precast reinforced concrete sections with tongue and groove joints conforming to ASTM C478 and shall have a minimum inside diameter of 48-inches.
5. External chimney seals shall be provided on all sanitary manholes and all sanitary manholes shall be provided in lieu of an eccentric cone section.

- watertight.
6. Sanitary manhole frames and lids shall be Neenah R-1713 with Type B, self-sealing, watertight lids with concealed pick holes or approved equal, unless noted otherwise in the Plans.
7. Manhole steps shall be furnished and installed in all Sanitary and Storm structures in accordance with the 'Standard Specifications for Water and Sewer Construction', latest edition and as shown on the Plans.
8. An external drop manhole structure in accordance with Plans or other Jurisdictional Agency requirements shall be provided where the difference between inverts is greater than or equal to two (2) feet.
9. The minimum cover over sanitary sewer lines and services shall be three (3) feet.
10. The minimum sanitary service line size shall be 6-inch diameter pipe at a 1.0% minimum slope.
11. Sanitary sewer service risers shall be installed where the mainline sewer depth is greater than twelve (12) feet or in locations indicated on the Plans.
12. Cleanouts shall be provided in locations shown on the Plans or as required by the Jurisdictional Agency.
13. All floor drains shall discharge into the sanitary sewer.
14. External grease traps, if applicable, shall be provided in accordance with the Jurisdictional Agency requirements at the locations shown on Plans.
15. Sanitary sewers and related appurtenances shall be tested and televised in accordance with the following:
a. All sanitary sewers shall be tested for acceptability by either an air test, infiltration of water test, or exfiltration of water test or a combination thereof in accordance with the 'Standard Specifications for Water and Sewer Construction', latest edition, or in accordance with the requirements of the Village/City or applicable Jurisdictional Agency, whichever is more restrictive.
b. All flexible pipe sanitary sewers shall be deflection tested in accordance with the 'Standard Specifications for Water and Sewer Construction', latest edition, or in accordance with the requirements of the Village/City or applicable Jurisdictional Agency, whichever is more restrictive.
c. All sanitary manholes shall be tested for watertightness using a leakage test in accordance with ASTM C969 - 'Standard Practice for Infiltration and Exfiltration Acceptance Testing of Installed Precast Concrete Pipe Sewer Lines' or ASTM C1244 - 'Standard Test Method for Concrete Sewer Manholes by the Negative Pressure (Vacuum) Test Prior to Backfill'.
d. The Contractor shall televise all newly constructed sanitary sewers in accordance with applicable Jurisdictional Agency requirements prior to the completion of the project and final acceptance. A copy of the inspection video shall be provided to the applicable Jurisdictional Agency and the Engineer for review.

Project Manager: K M L
Engineer: K M L
Date: 03-26-2021
Project No: 21-028
Sheet C2.0
PRELIMINARY ENGINEERING PLANS
SKYCREST SUBDIVISION
CITY OF DES PLAINES, ILLINOIS
GENERAL NOTES AND SPECIFICATIONS
HAEGER ENGINEERING
consulting engineers • land surveys
100 East State Parkway, Schaumburg, IL 60173 464-847-294-6600 Fax: 847-294-6606
www.haegerengineering.com
Illinois Professional Design Firm License No. 184-0003151
City Comments, Revised Drawing Structures
Revision
Date
No.
1
05-20-2021



EXISTING CONDITIONS AND DEMOLITION PLAN



GRADING AND UTILITY PLAN

DEMOLITION NOTES

1. Notify the City of Des Plaines 48 Hours Before Construction Starts.
2. City Standards supercede all others.
3. All Excavated Materials are to be Removed Daily.
4. Any Existing Wells (if Encountered) Should be Sealed and Capped by a Licensed Well Driller

GEOMETRY NOTE:

1. Future building sizes and location of driveways are shown for reference. Actual size and location may vary and is subject to the approval of the City of Des Plaines.

GRADING NOTES

1. Individual permit plats for each lot shall be required for review and approval by the City prior to obtaining a building permit.
2. All downspouts shall point to the rear of the lot.

SANITARY SEWER NOTES

1. All sanitary services shall be 6" PVC SDR 26 @ a minimum of 1% slope.
2. Final location of services shall be shown on the building permit plat.
3. Maintain 10' horizontal separation between sanitary and water service lines.

WATER NOTES

1. All water services shall be 1 1/2" Copper Tube Type K.
2. Final location of services shall be shown on the building permit plat.
3. Water services to be installed via directional drilling under Wedgewood Avenue.

STORM SEWER NOTES

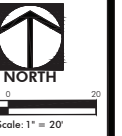
1. Sump pumps discharges shall be connected to storm sewer.

GENERAL NOTES

1. See sheets C2.0 and C2.1 for all standard utility notes.
2. Sod all damaged parkways.

UTILITY NOTE

1. Use flowable fill in all City ROWs.



Scale: 1" = 20'

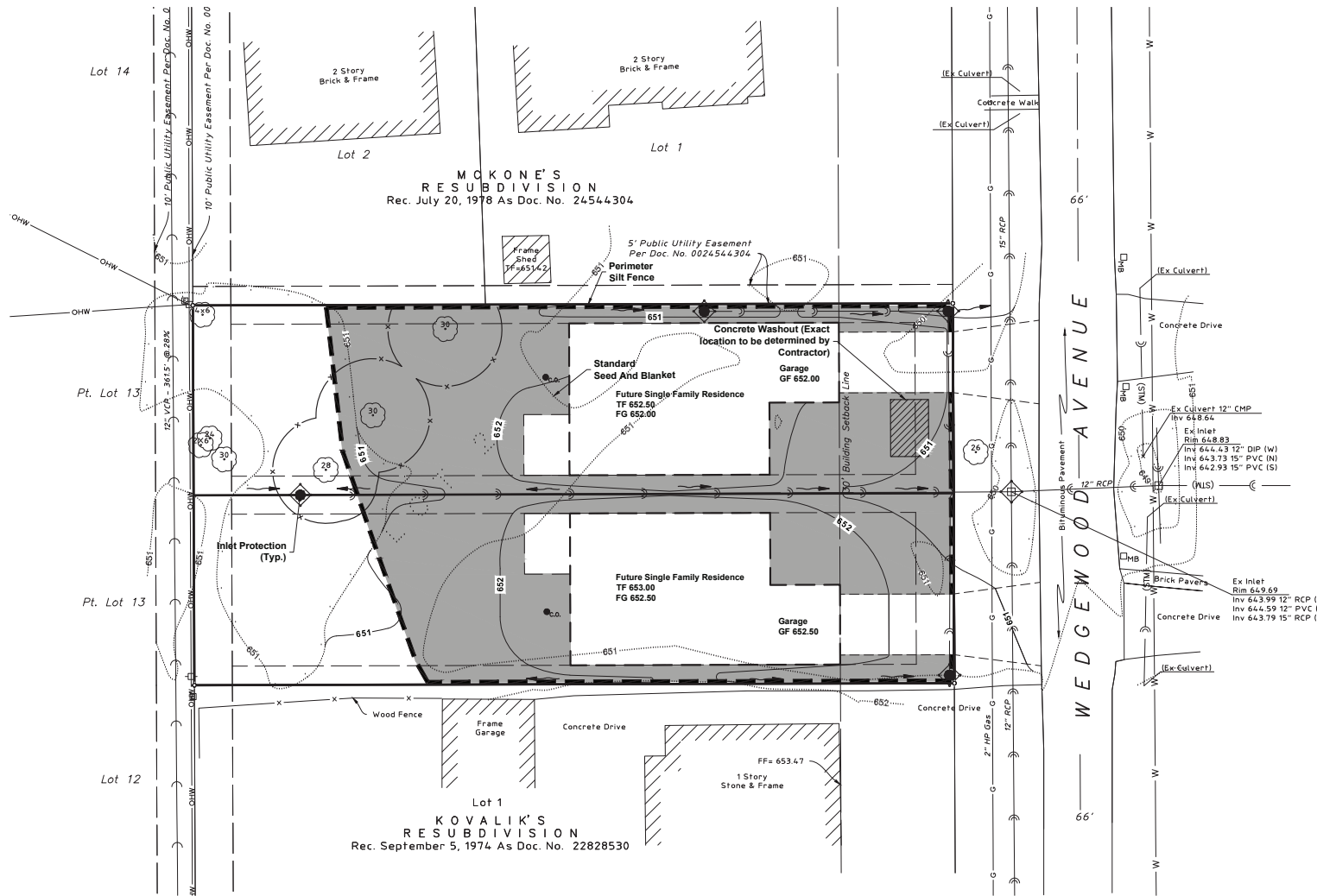
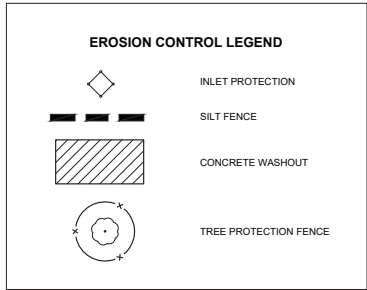
City Comments, Revised Drainage Structures
Date
Revision

05-20-2021
Date
1 No.

HAEGER ENGINEERING
consulting engineers • land surveyors
100 East State Parkway, Schaumburg, IL 60173 • 630-394-6600 Fax: 630-394-6606
Illinois Professional Engineer License No. 184-0001312
www.haegerengineering.com

DEMOLITION, GRADING, AND UTILITY PLAN
PRELIMINARY ENGINEERING PLANS
SKYCREST SUBDIVISION
CITY OF DES PLAINES, ILLINOIS

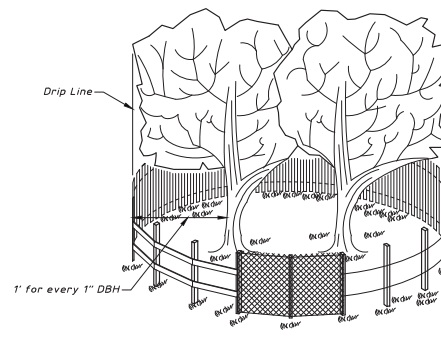
Project Manager: K.M.L.
Engineer: K.M.L.
Date: 03-26-2021
Project No. 21-028
Sheet C3.0



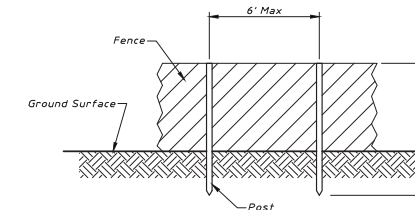
SOIL EROSION AND SEDIMENT CONTROL PLAN

NOTES:

1. Contractor to install erosion control fence around the perimeter of the site work area prior to construction.
2. Contractor to protect earthen stockpile with silt fence.



SIDE VIEW

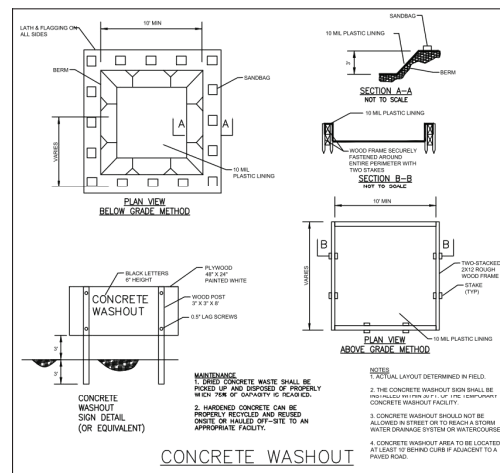
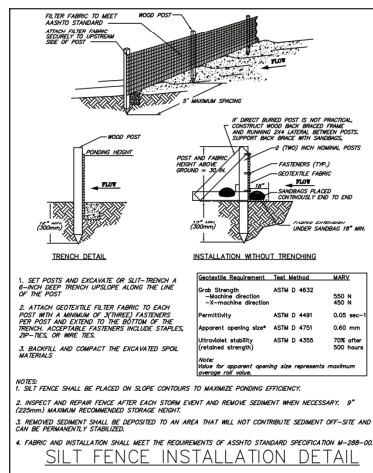


POST AND FENCE DETAIL

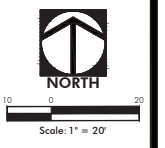
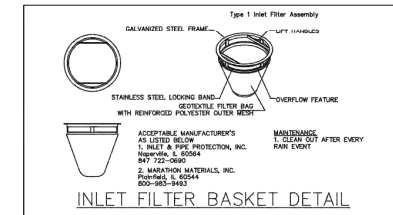
NOTES:

1. The fence shall be located outside the drip line of the tree to be saved and in no case closer than 1 foot for every 1" DBH to the trunk of any tree.
2. Fence posts shall be either standard steel posts or wood posts with a minimum cross sectional area of 3.0 sq. in.
3. The fence may be either 4.0" high snow fence, 4.0" plastic web fencing or any other material as approved by the engineer.

TREE PROTECTION - FENCING



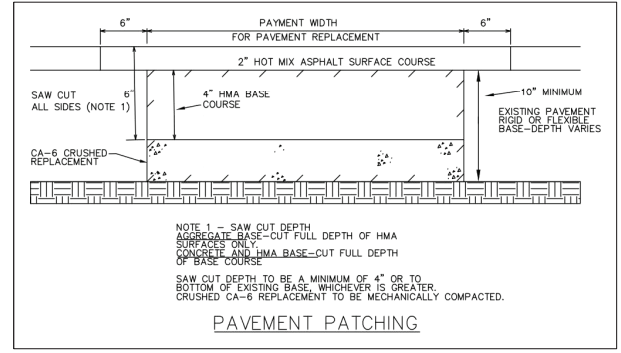
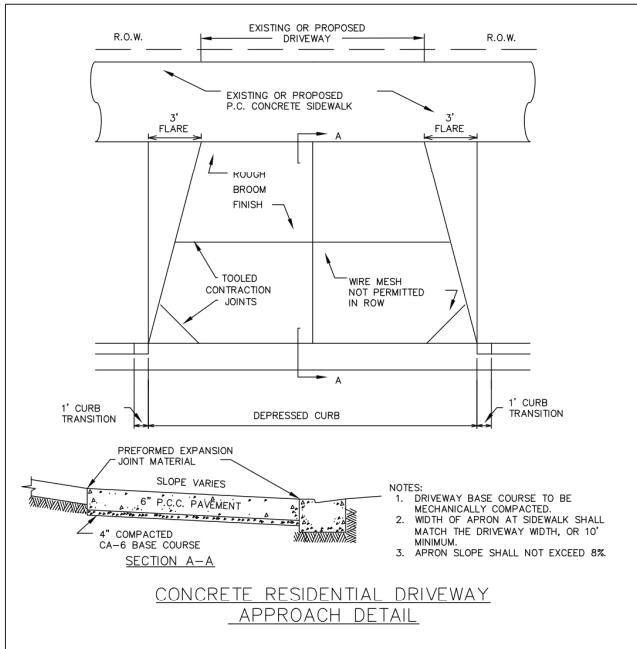
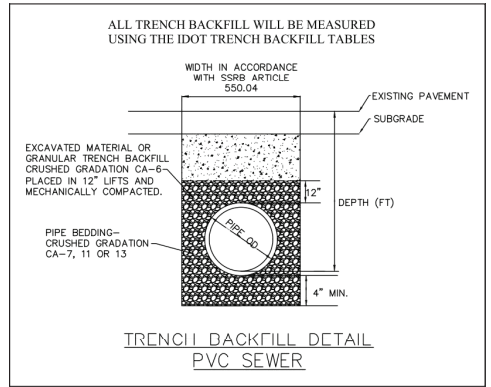
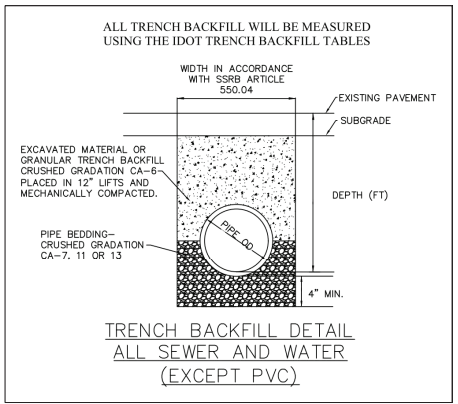
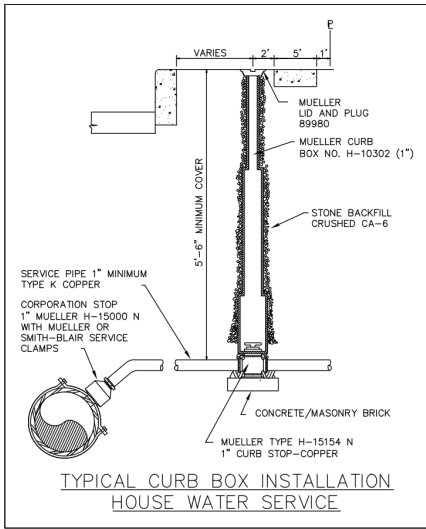
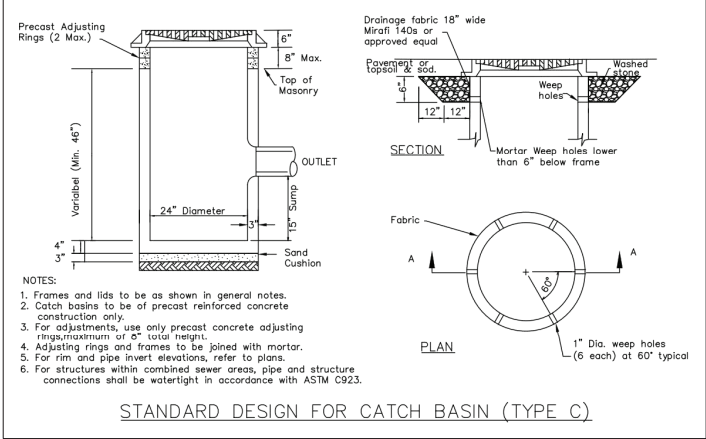
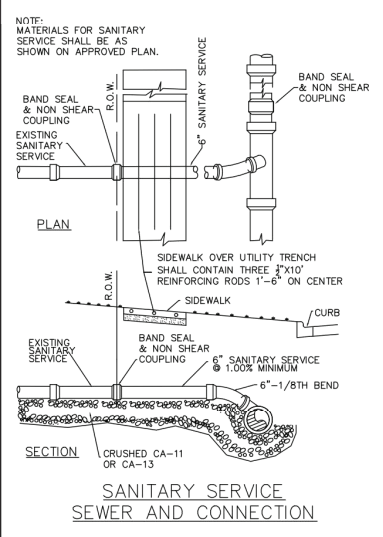
Stabilization Type:	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
Permanent Seeding		A			X	X	X	X	X	X		
Dormant Seeding	B											
Temporary Seeding		C			X	X	X	X	X			
Sodding		E	X	X	X	X	X	X				
Mulching		F										



HAEGER ENGINEERING
 consulting engineers • land surveyors
 100 East State Parkway, Schaumburg, IL 60173 • 616-847-3946/6608 Fax: 616-847-3946/6608
 Illinois Professional Design Firm License No. 184-0003132
 www.haegerengineering.com

SOIL EROSION CONTROL PLAN AND DETAILS
PRELIMINARY ENGINEERING PLANS
SKYCREST SUBDIVISION
 CITY OF DES PLAINES, ILLINOIS

Project Manager: K M L
 Engineer: K M L
 Date: 03-26-2021
 Project No. 21-028
 Sheet **C4.0**



HAEGER ENGINEERING
 consulting engineers • land surveyors
 100 East State Parkway, Schaumburg, IL 60173 • 647.394.6600 Fax: 647.394.6606
 Illinois Professional Design Firm License No. 184-0001312
 www.haegerengineering.com

STANDARD DETAILS
PRELIMINARY ENGINEERING PLANS
SKYCREST SUBDIVISION
 CITY OF DES PLAINES, ILLINOIS

Project Manager: K M L
 Engineer: K M L
 Date: 03-26-2021
 Project No. 21-028
 Sheet **C5.0**

05-20-2021
 1
 No.
 Date
 Revision
 City Comments, Revised Drainage Structures



1418-1424 Wedgewood Ave – Public Notice



1418-1424 Wedgewood Ave – Looking Northwest at Front of Site



1418-1424 Wedgewood Ave – Looking Southwest at Front of Site



1418-1424 Wedgewood Ave – Looking West at Front of Site

MEMORANDUM

Date: June 1, 2021
To: Planning and Zoning Board
From: Jonathan Stytz, Planner JS
Cc: Michael McMahon, Director of Community & Economic Development
Subject: Consideration of a Major Variance Request to Exceed the Maximum Area Permitted for a Detached Garage at 1316 Webford Avenue (8th Ward)

Issue: The petitioner is requesting a Major Variation under Section 12-8-1(C) of the 1998 Des Plaines Zoning Ordinance, as amended, to allow the construction of a 897-square foot detached garage at 1316 Webford Avenue where the maximum area permitted for a detached garage in a residential zoning district is 720-square feet.

Analysis:
Address: 1316 Webford Avenue
Owner: Chris Colldock, 1316 Webford Avenue, Des Plaines, IL 60016
Petitioner: Chris Colldock, 1316 Webford Avenue, Des Plaines, IL 60016
Case Number: 21-016-V
PIN: 09-17-306-028-0000
Ward: #3, Alderman Sean Oskerka
Existing Zoning: R-1, Single Family Residential District
Existing Land Use: Single Family Residence
Surrounding Zoning: North: C-3, General Commercial District
South: R-3, Townhouse Residential District
East: R-3, Townhouse Residential District
West: R-3, Townhouse Residential District
Surrounding Land Use: North: Walgreens (Commercial)
South: Single Family Residences

East: Single Family Residences
West: Single Family Residences

Street Classification: Webford Avenue is classified as a local street.

Comprehensive Plan: The Comprehensive Plan designates the site as Residential.

Project Description: The petitioner, Chris Colldock, is requesting a major variation to allow for an 879-square foot detached garage in the R-1, Single Family Residential District at 1316 Webford Avenue where a maximum area for a detached garage in a residential zoning district is 720-square feet. The subject property is located along Webford Avenue near Downtown Des Plaines and backs up to the Metra railroad. The property is 13,650-square feet (0.31 acres) in size and currently consists of a one-story residence, patio area, detached garage, and driveway area as shown on the Plat of Survey (Attachment 4). The existing one-car detached garage is approximately 337-square feet in size, is located 3.67-feet from the east property line, and is setback approximately 33.37-feet from the north property line. Pursuant to Section 12-8-1(C), the maximum area for a detached garage in a residential zoning district is 720-square foot.

The petitioner is proposing to construct a one-story, 897-square foot detached garage with an 18-foot wide garage door. The proposed garage will be setback 5'-6" off the east property line and 19'-2" off the north property line to meet the minimum five-foot setback requirement for detached garages as shown in the Site Plan (Attachment 5). The petitioner is requesting the over-sized detached garage to accommodate additional vehicles, yard equipment, seasonal furniture, and personal workbench for residence maintenance on the property in an enclosed structure, which is not possible in the existing one-car garage. The proposal would replace the existing detached garage with the new 879-square foot detached garage setback further from the property lines but without any changes to access as shown in the Site Plan (Attachment 5). Please note that while the driveway surface on the Site Plan does not reflect the design, setback, and dimensions that the petitioner proposes to install on the property, the petitioner intends to conform with all required driveway regulations. The petitioner has provided garage plans to illustrate the overall design, layout, and elevations of the proposed garage as shown in the Garage Plans (Attachment 6). It is important to note that the garage plans depicted in the architectural drawings do not reflect the exact shape and dimensions of the current detached garage proposed, but rather are included for illustrative purposes for what the proposed rectangular detached garage will look like when completed. The existing gravel driveway leading from the front property line to the existing detached garage does not comply with current code. If approval is recommended for this request, staff is adding a condition that the gravel driveway is improved with a dust-free hard surface.

Pursuant to Section 12-8-1(C)(5) of the Des Plaines Zoning Ordinance, the maximum area of a detached garage shall be seven hundred twenty (720) square feet or less. The petitioner's request to allow for a detached garage that exceeds the 720-square foot maximum for accessory structures in Des Plaines constitutes the need for a major variation to Section 12-8-1(C) of the 1998 Des Plaines Zoning Ordinance.

Variation Findings: Variation requests are subject to the standards set forth in Section 12-3-6(H) of the 1998 City of Des Plaines Zoning Ordinance, as amended.

- 1. Hardship: No variation shall be granted pursuant to this subsection H unless the applicant shall establish that carrying out the strict letter of the provisions of this title would create a particular hardship or a practical difficulty:**

Comment: Staff finds that there is no hardship or practical difficulty preventing the petitioner from complying with the 720-square foot maximum area allowance for detached garages in residential districts as a 720-square foot space does allow for the storage of multiple vehicles, equipment, and workbench area depending on design. Additionally, the zoning code allows for two accessory structures for each property so a shed could be added to accommodate additional storage as needed. Please see the Petitioner's responses to Standards for Variations.

- 2. Unique Physical Condition: The subject lot is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject lot that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot:**

Comment: Staff finds that there is no unique physical condition on the subject property than differs from any other property along this street as there are several other properties backing up to the Metra train tracks that share the same conditions. While detached garages and other accessory structures inevitably may provide some semblance of privacy and noise reduction, this is not their intended purpose. Additionally, there is ample room to install landscaping as a natural barrier to address the noise and privacy concerns posed by the petitioner. Please see the Petitioner's responses to Standards for Variations.

- 3. Not Self-Created: The aforesaid unique physical condition is not the result of any action or inaction of the owner or its predecessors in title and existed at the time of the enactment of the provisions from which a variance is sought or was created by natural forces or was the result of governmental action, other than the adoption of this title:**

Comment: While the subject property's location, size, and close proximity to the Metra train tracks may not be a result of any action or inaction of the property owner, the subject property was purchased with the understanding of these attributes and conditions. As such, staff does not find these physical conditions of the subject property warrant the approval of a variation for an over-sized garage, whether for privacy, noise dampening, or additional storage, since other properties along this street deal with similar circumstances. Please see the Petitioner's responses to Standards for Variations.

- 4. Denied Substantial Rights: The carrying out of the strict letter of the provision from which a variance is sought would deprive the owner of the subject lot of substantial rights commonly enjoyed by owners of other lots subject to the same provision:**

Comment: Staff finds that carrying out the strict letter of this code to permit a 720-square foot detached garage would not deprive the existing property owner of substantial rights enjoyed by other owners of similarly zoned lots since this regulation is enforced for all residentially-zoned properties regardless of size, location, and composition of the property. All new detached garages are held to the same standards under Section 12-8-1(C) of the Zoning Ordinance so enforcing the maximum detached garage area would not prevent the property owner from any substantial rights enjoyed by other single family residential properties. Please see the Petitioner's responses to Standards for Variations.

- 5. Not Merely Special Privilege: The alleged hardship or difficulty is neither merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely the inability of the owner to make more money from the use of the subject lot:**

Comment: Staff finds that the granting of this variation for density would, in fact, provide a special privilege for the property owner not available to other single family residential properties as it would give the petitioner preferential treatment over owners of other single family residences. Additionally, it could create a precedence for additional over-sized garage requests for single family residential properties that do not meet the standards for variations and may not have the available space or justifiable need for an over-sized detached garage. Please see the Petitioner's responses to Standards for Variations.

- 6. Title And Plan Purposes: The variation would not result in a use or development of the subject lot that would be not in harmony with the general and specific purposes for which this title and the provision from which a variation is sought were enacted or the general purpose and intent of the comprehensive plan:**

Comment: Staff finds that the proposed over-sized detached garage would not be harmonious with the surrounding single family residential development in this area or for other single family zoned properties in Des Plaines and does not meet the standards for variation in Section 12-3-6 of the Zoning Ordinance. Additionally, the zoning code requires a minimum of two off-street parking spaces, which a 720-square foot garage can meet and exceed depending on design. The request for the oversized detached garage would not support the goals and objectives of the Comprehensive Plan as this does not benefit other residents or the City of Des Plaines as a whole. Please see the Petitioner's responses to Standards for Variations.

- 7. No Other Remedy: There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject lot.**

Comment: Staff finds that there are ways to avoid the requested variation for an oversized garage. Aside from the fact that the allowable 720-square foot size for a detached garage can accommodate multiple vehicles, equipment storage, and work area depending on its design, the zoning code allows up to two accessory structures for each property up to 150-square feet in size. Thus, a shed could be added on the property as a second accessory structure to accommodate additional storage as needed totaling 870-square feet, which is near the area that the petitioner is requesting for the detached garage. An additional alternative if more space is needed is constructing an addition on the existing residence, in conformance with all applicable codes, since there is ample room in the rear yard. In essence, there are other available options aside from the variation to remedy the petitioner's posed concerns. Please see the Petitioner's responses to Standards for Variations.

- 8. Minimum Required: The requested variation is the minimum measure of relief necessary to alleviate the alleged hardship or difficulty presented by the strict application of this title.**

Comment: Staff finds that the approval of this variation request for an oversized garage is not the minimum measure of relief to address the petitioner's concerns, but rather the installation of mature landscaping at the rear of the property to reduce noise, add privacy, and allow for outdoor space. In addition to that, the zoning ordinance allows properties that abut a railroad right-of-way to install an eight-foot tall fence along the side that abuts the alley, which could assist in the privacy and noise reduction measures. Please see the Petitioner's responses to Standards for Variations.

Recommendation: Staff recommends denial of the request to allow the construction of an 879-square foot detached garage in the R-1 zoning district at 1316 Webford Avenue based on review of the information presented by the applicant and the standards and conditions met by Section 12-3-6(H) (Findings of Fact for Variations) as outlined within the City of Des Plaines Zoning Ordinance, as amended. If the request is recommended for approval, staff recommends adding a condition that the existing gravel driveway shall be improved with a dust-free hard surface in conformance with all applicable City of Des Plaines codes within 60 days of City Council approval.

Planning and Zoning Board Procedure: Under Section 12-3-6(F) of the Zoning Ordinance (Major Variations), the Planning and Zoning Board has the authority to *recommend* that the City Council approve, approve subject to conditions, or disapprove the above-mentioned variance for detached garage area within the R-1 Zoning District at 1316 Webford Avenue. The City Council has the final authority on the proposal.

Attachments:

- Attachment 1: Project Narrative
- Attachment 2: Petitioner’s Responses to Standards for Variation
- Attachment 3: Location Map
- Attachment 4: Plat of Survey
- Attachment 5: Site Plan
- Attachment 6: Garage Plans
- Attachment 7: Site and Context Photos

PROJECT NARRATIVE

We are requesting a variance of the City of Des Plaines to go beyond the 720 square foot maximum detached garage requirement. We are asking to add an additional 197 square feet.

We are requesting this variance due to the hardship of what we believe to be a lack of privacy and excessive noise from the Metra & freight trains that run along the back yard of our property. The current one-car garage is non-functional by today's standards (a small SUV can not fit in it). We would like to tear it down and build a larger garage that can comfortably fit both our cars, plus store yard equipment, seasonal furniture, a workbench for general home maintenance etc. In doing so, we realized that if the garage were to be slightly larger we could gain more privacy by blocking the view from the Metra trains that overlook our property, even with the fence currently in place. The larger garage would also help reduce the noise from the trains as they go by.

Because of the unique shape of our lot and trying to preserve as much outdoor space as possible, we feel that the location of the garage on the attached plans would be the best way to accommodate these hardships. Based on the location and shape of the garage, you will not be able to notice the size difference from the street.

Thank you for your consideration.

STANDARDS FOR VARIATIONS

- 1. Hardship:** No variation shall be granted pursuant to this subsection H unless the applicant shall establish that carrying out the strict letter of the provisions of this title would create a particular hardship or a practical difficulty.

Even though a fence is at the back of the lot, it is still inadequate of providing privacy and noise reduction between the subject property and the Metra trains. Adding an extra 197 sq. ft. to the garage would help minimize both these issues.
- 2. Unique Physical Condition:** The subject lot is exceptional as compared to other lots subject to the same provision by reason of a unique physical condition, including presence of an existing use, structure, or sign, whether conforming or nonconforming; irregular or substandard shape or size; exceptional topographical features; or other extraordinary physical conditions peculiar to and inherent in the subject lot that amount to more than a mere inconvenience to the owner and that relate to or arise out of the lot rather than the personal situation of the current owner of the lot.

The subject lot is long and narrow and the house sits further back on the property than most other houses in the surrounding lots. Due to this, and in order to preserve the usable outdoor space, the ideal garage would be long and narrow as well.
- 3. Not Self-Created:** The aforesaid unique physical condition is not the result of any action or inaction of the owner or its predecessors in title and existed at the time of the enactment of the provisions from which a variance is sought or was created by natural forces or was the result of governmental action, other than the adoption of this title

Neither the applicant nor the preceding owners have created the hardship as the property size and house location as been this way since the property was developed.
- 4. Denied Substantial Rights:** The carrying out of the strict letter of the provision from which a variance is sought would deprive the owner of the subject lot of substantial rights commonly enjoyed by owners of other lots subject to the same provision.

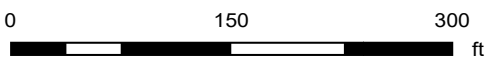
The surrounding lots have larger backyards due to the fact that their houses sit closer to the street, giving them more opportunity for privacy and noise reduction. They are still able to maintain there usable outdoor space while having larger garages and larger outdoor space.
- 5. Not Merely Special Privilege:** The alleged hardship or difficulty is neither merely the inability of the owner or occupant to enjoy some special privilege or additional right not available to owners or occupants of other lots subject to the same provision, nor merely the inability of the owner to make more money from the use of the subject lot.

The garage will be used for car storage, and area to keep equipment to maintain the property (garden/ yard equipment, seasonal furniture etc). There will be no financial benefit to the requested variance of additional space to the garage.
- 6. Title And Plan Purposes:** The variation would not result in a use or development of the subject lot that would be not in harmony with the general and specific purposes for which this title and the provision from which a variation is sought were enacted or the general purpose and intent of the comprehensive plan.

The specified use would not alter or change from the original intent to being a general use garage. See response 5.
- 7. No Other Remedy:** There is no means other than the requested variation by which the alleged hardship or difficulty can be avoided or remedied to a degree sufficient to permit a reasonable use of the subject lot.

Based on the unique size and shape of the subject lot, the owners believe making the proposed garage slightly larger is the best way to resolve the privacy and noise issues while still maintaining the outdoor space..
- 8. Minimum Required:** The requested variation is the minimum measure of relief necessary to alleviate the alleged hardship or difficulty presented by the strict application of this title.

The requested variation of making the proposed garage slightly larger would block noise and create privacy for the applicants. This would be the least amount of structure necessary to alleviate the hardship while still preserving outdoor living space.



Print Date: 6/2/2021

Notes

Disclaimer: The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law. This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.

PLAT OF SURVEY

EXACTA
ILLINOIS SURVEYORS, INC.



PROPERTY ADDRESS: 1316 WEBFORD AVENUE, DES PLAINES, ILLINOIS 60016

SURVEY NUMBER: 18120368

FIELD WORK DATE: 12/10/2018 REVISION DATE(S): (REV 0 12/11/2018)

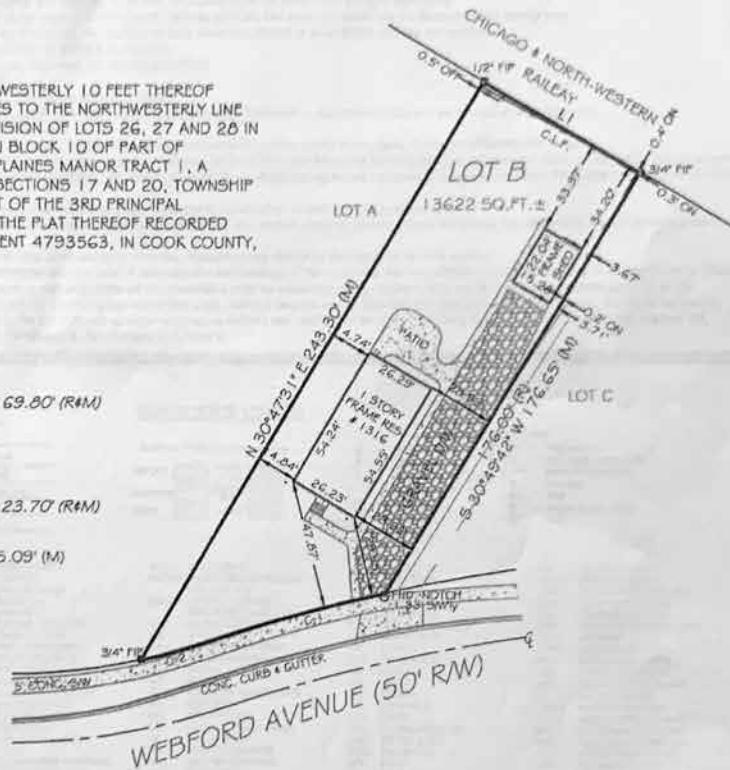
18120368
BOUNDARY SURVEY
COOK COUNTY

LOT B (EXCEPT THE NORTHWESTERLY 10 FEET THEREOF MEASURED AT RIGHT ANGLES TO THE NORTHWESTERLY LINE THEREOF) IN THE RESUBDIVISION OF LOTS 26, 27 AND 28 IN BLOCK 1 AND OF LOT 13 IN BLOCK 10 OF PART OF WEBFORD AVENUE IN DES PLAINES MANOR TRACT 1, A SUBDIVISION OF PART OF SECTIONS 17 AND 20, TOWNSHIP 41 NORTH, RANGE 12 EAST OF THE 3RD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 14, 1911 AS DOCUMENT 4793563, IN COOK COUNTY, ILLINOIS.

C-1
R = 689.42' (RAM)
L = 69.83' (RAM)
Δ = 5°48'43" (RAM)
CH = 5 74°41'58" W, 69.80' (RAM)

C-2
R = 224.02' (RAM)
L = 23.71' (RAM)
Δ = 6°03'50" (RAM)
CH = 5 75°08'08" W, 23.70' (RAM)

TABLE:
L1 S 59°43'51" E 65.09' (M)



STATE OF ILLINOIS } ss
COUNTY OF DuPAGE

THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY, GIVEN UNDER MY HAND AND SEAL THIS 7TH DAY OF DECEMBER, 2018 AT 312 S. HALF STREET IN WHEATON, IL 60187.

ILLINOIS PROFESSIONAL LAND SURVEYOR No. 2971
LICENSE EXPIRES 1/30/2020
EXACTA LAND SURVEYORS LB# 57C3



GRAPHIC SCALE (In Feet)
1 inch = 50' ft.



THE ABOVE SURVEY IS A PROFESSIONAL SERVICE IN COMPLIANCE WITH THE MINIMUM STANDARDS OF THE STATE OF ILLINOIS. NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT ALONE. PLEASE REFER ALSO TO YOUR DEED, TITLE POLICY AND LOCAL ORDINANCES. COPYRIGHT BY EXACTA ILLINOIS SURVEYORS. THIS DOCUMENT MAY ONLY BE USED BY THE PARTIES TO WHICH IT IS CERTIFIED. PLEASE DIRECT QUESTIONS OR COMMENTS TO EXACTA ILLINOIS SURVEYORS, INC. AT THE NUMBER IN THE BOTTOM RIGHT CORNER.

CLIENT NUMBER: 2948908

DATE: 12/11/18

BUYER: CHRISTOPHER COLLDOCK AND MICHELLE DANIEL

SELLER: KIMBERLY BAKER

CERTIFIED TO: CHRISTOPHER COLLDOCK AND MICHELLE DANIEL; FIRST AMERICAN TITLE INSURANCE COMPANY; PARKSIDE LENDING, LLC; ITS SUCCESSORS AND/OR ASSIGNS; AS THEIR INTERESTS MAY APPEAR

This is page 1 of 2 and is not valid without all pages.

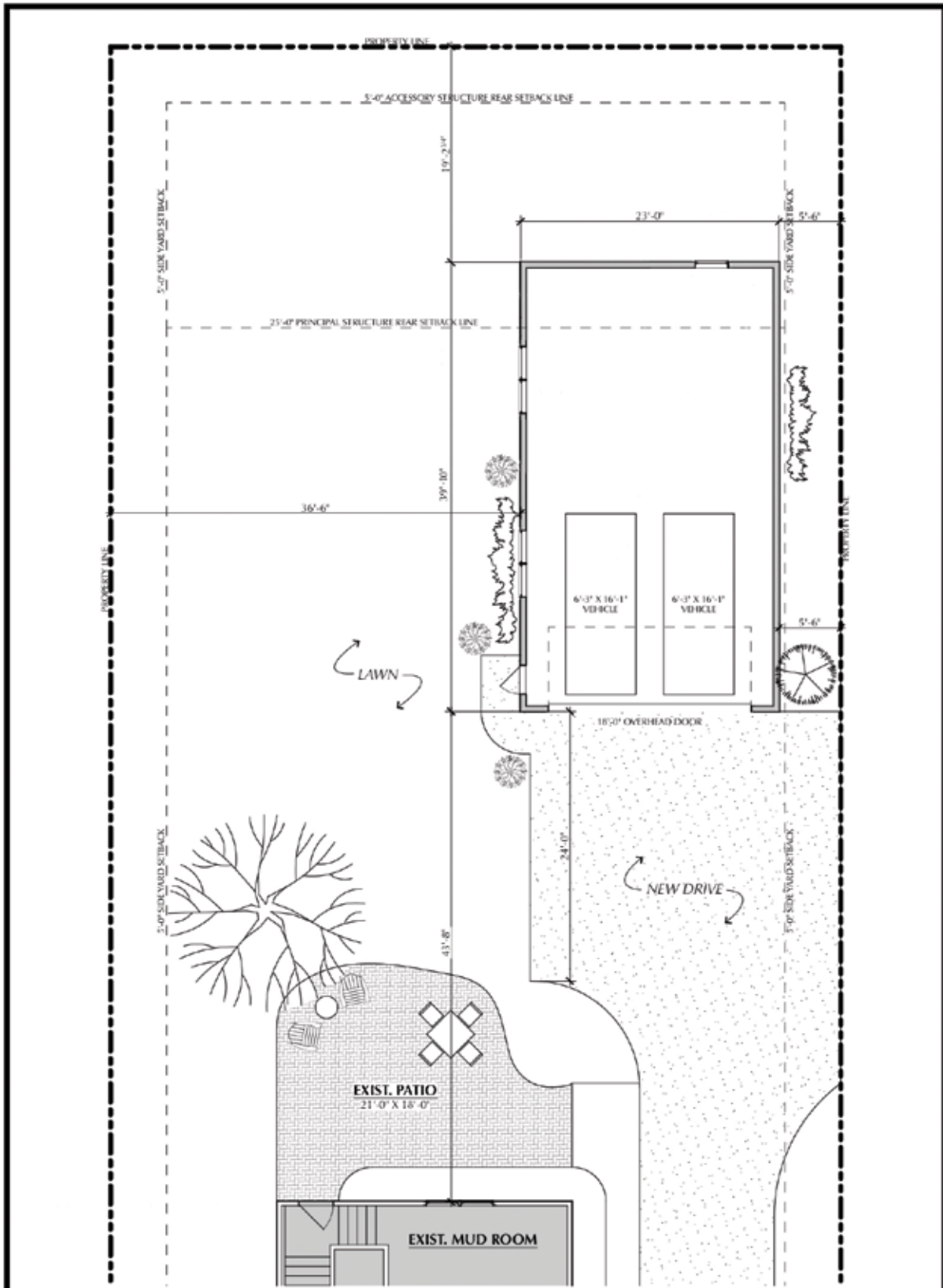
POINTS OF INTEREST

Exacta Proudly Supports
THE cara PROGRAM
transforming lives...
www.thecaraprogram.org

EXACTA ILLINOIS SURVEYORS, INC.
316 East Jackson Street, Morris, IL 60450
LB# 184005763 | P: 773.305.4011

Please Remit Payment To: 2132 E 9th St, Suite 210

REQUESTED VARIANCE SITE PLAN



PROPOSED FLOOR PLAN OPT. B

SCALE: 1/8" = 1'-0"

SHEET 2 OF 2	<u>PROPOSED ADDITION</u>	DATE	REVISION	DEBAKER DESIGN GROUP, LTD. 7927 N. LINCOLN AVE. #201 SKOKIE, IL 60077 P. 773-368-8917 DEBAKERDESIGN.COM <small>Architecture for Creative Homes Residential Division - Chicago, IL</small> © 2020 ALL RIGHTS RESERVED
	COLLDOCK RESIDENCE 1316 WEBFORD AVE. DES PLAINES, IL 60016	05/18/2020	PRELIM. PRESENTATION	
		06/22/2020	REVISED PRELIMS	

COLUMNS SUPPORTING VALLEY MEMBERS	
HEIGHT	CONFIGURATION
0 - 7'-0"	(1) 4X4 POST
7'-0" - 11'-0"	(1) 2X4 & (1) 2X6 GLUED W/ 16D NAILS @ 8" O.C.
11'-0" - 14'-0"	(1) 6X6 POST
14'-0" - 17'-0"	(1) 2X6 & (1) 2X8 GLUED W/ 16D NAILS @ 8" O.C.

ROOF PLAN NOTES
NEW ROOF RAFTERS ARE TO BE 2X10s @ 16" O.C. UNLESS OTHERWISE NOTED.
ROOFING MATERIAL TO BE ARCHITECTURAL ASPHALT SHINGLES, CLASS "C" OR BETTER
GUTTERS TO BE ALUMINUM 6" K-STYLE WITH MOUNTING STRAPS AT 24" O.C. MIN.
ALL DOWNSPOUTS TO SPLASH ON GRADE.
PROVIDE CONTINUOUS RIDGE VENT. PROVIDE CONTINUOUS STRIP VENT AT EAVES.

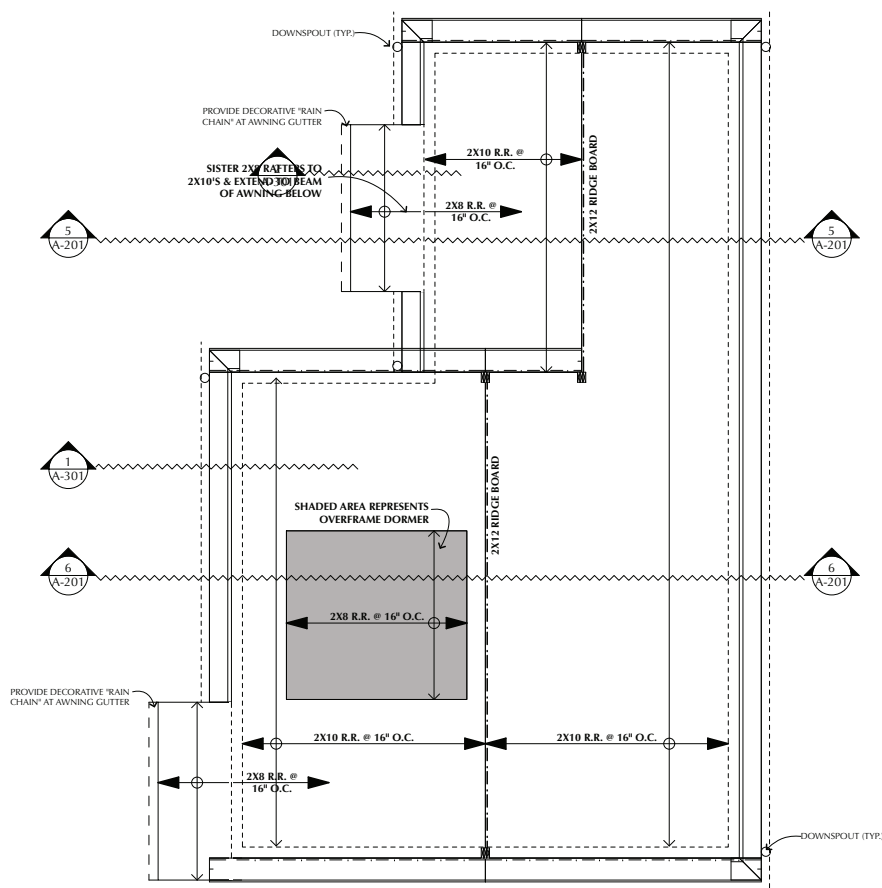
GENERAL NOTES
NEW ELECTRICAL SUB PANEL IN GARAGE RUN OFF MAIN HOUSE.
PROVIDE WATER LINE FROM MAIN HOUSE TO GARAGE FOR HOSE BIBS AS SHOWN.
PROVIDE NATURAL GAS LINE FROM MAIN HOUSE TO GARAGE FOR HEATING ELEMENTS AS SHOWN.

FLOOR AREA
GARAGE AREA: 719.75 SQ.FT.

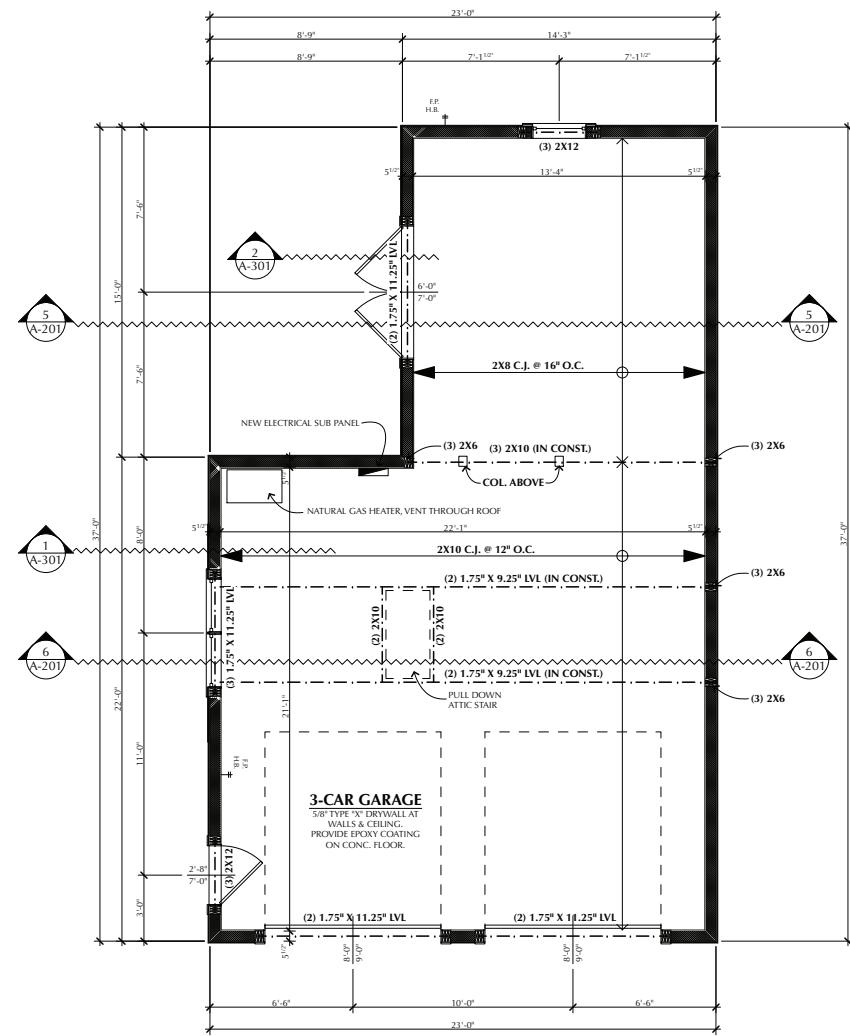
HEATING & INSULATION NOTES
PROVIDE NATURAL GAS CEILING MOUNTED HEATER.
PROVIDE OPTION FOR RADIANT HEAT AT GARAGE FLOOR SLAB RUN OFF BOILER.
WITH HEATED GARAGE, PROVIDE THE FOLLOWING INSULATION:
WALLS: R-21 BATT INSULATION
ATTIC: R-49 BATT INSULATION
SLAB: R-10 RIGID FOAM ON INSIDE OF FOUNDATION WALL FOR A DEPTH OF 2 FEET. R-5 RIGID FOAM INSULATION UNDER ENTIRE SLAB IF RADIANT OPTION IS SELECTED.

STRUCTURAL NOTES
ATTIC FLOOR DESIGN LOADS: LIVE LOAD = 20 PSF DEAD LOAD = 10 PSF
ROOF DESIGN LOADS: LIVE LOAD = 50 PSF DEAD LOAD = 20 PSF
METAL POST BASES ARE REQUIRED FOR WOOD COLUMNS THAT COME IN CONTACT W/ CONCRETE. PROVIDE MIN. 2-1/2" CLEARANCE TO CONCRETE
PROVIDE JOIST HANGERS AT ALL FLUSH FRAMED CONDITIONS. (I.E. JOIST TO JOIST HEADERS AND JOIST TO BEAMS, ETC.)
BLOCK ALL COLUMNS TO STRUCTURAL MEMBERS AND/OR SILL PLATES. BLOCKING TO BE MINIMUM OF SIZE OF COLUMN ABOVE.

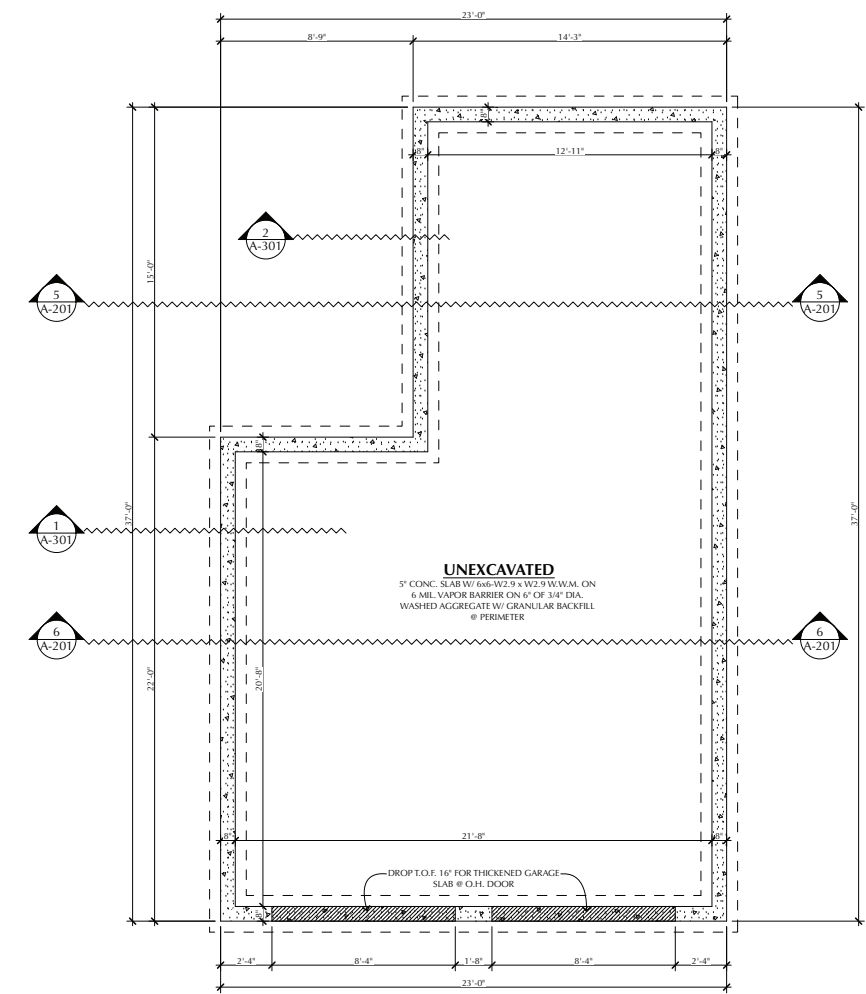
FOUNDATION PLAN NOTES
DOWNSPOUTS TO SPLASH ON GRADE UNLESS NOTED OTHERWISE ON CIVIL ENGINEERING PLAN.
IF SLEEVING UNDER GARAGE FLOOR SLAB, STOOP, ETC., FOR DOWNSPOUT, GAS LINE, ELECT. LINE OR AIR CONDITIONING CONDENSOR LINES: PROVIDE 6" O PVC SLEEVE (OR AS REQ'D), SUPPLIED & INSTALLED BY PLUMBING CONTRACTOR PRIOR TO POURING SLAB. VERIFY LOCATION W/ SUBCONTRACTOR.



3 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



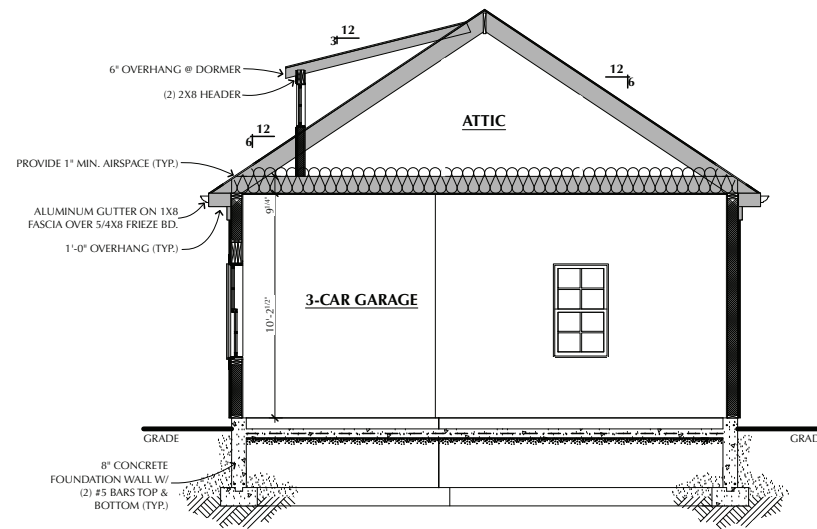
1 PROPOSED FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

DEBAKER DESIGN GROUP, LTD.
7927 N. LINCOLN AVE. #201
SKOKIE, IL 60077
P: 773-368-8917
DEBAKERDESIGN.COM
© 2020 ALL RIGHTS RESERVED

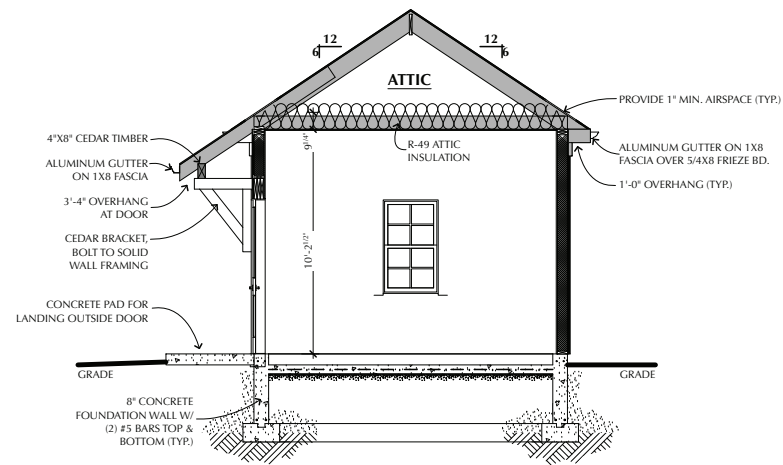
DEBAKER
DESIGN GROUP, LTD.
Architecture for Custom Homes
Renovations • Additions • New Construction

DATE	REVISION NOTES
05/18/2020	PRELIM. PRESENTATION
06/22/2020	REVISED PRELIMS
08/28/2020	REVISED PRELIMS

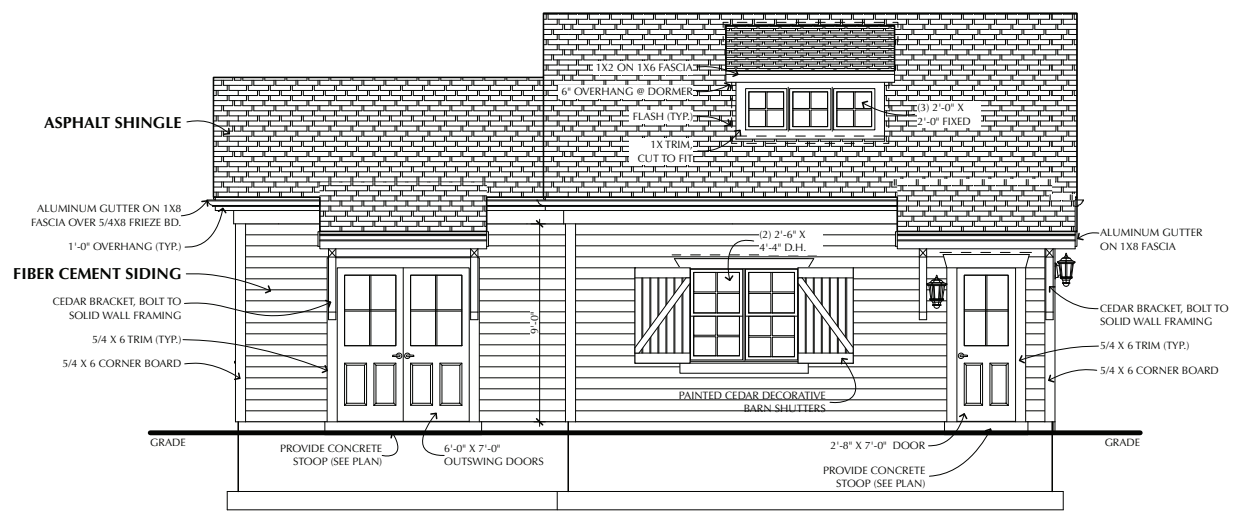
PROPOSED DETACHED GARAGE
COLDOCK RESIDENCE
1316 WEBFORD AVE.
DES PLAINES, IL 60016



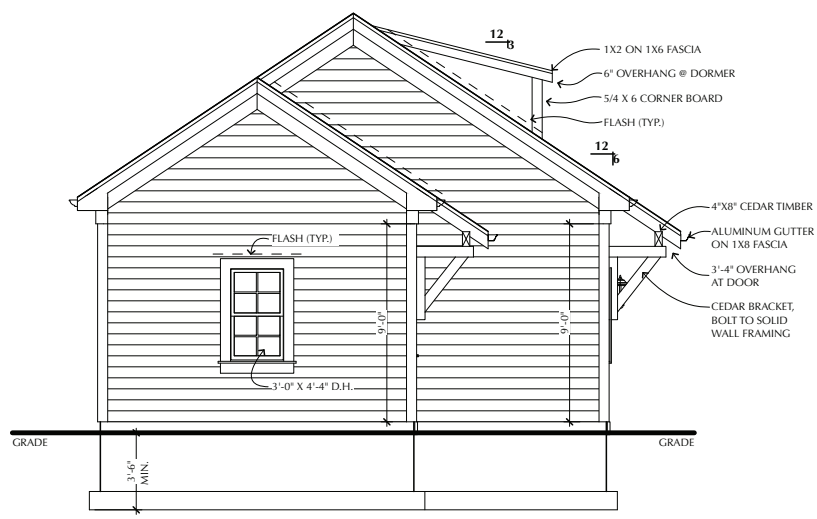
6 HOUSE SECTION
SCALE: 1/4" = 1'-0"



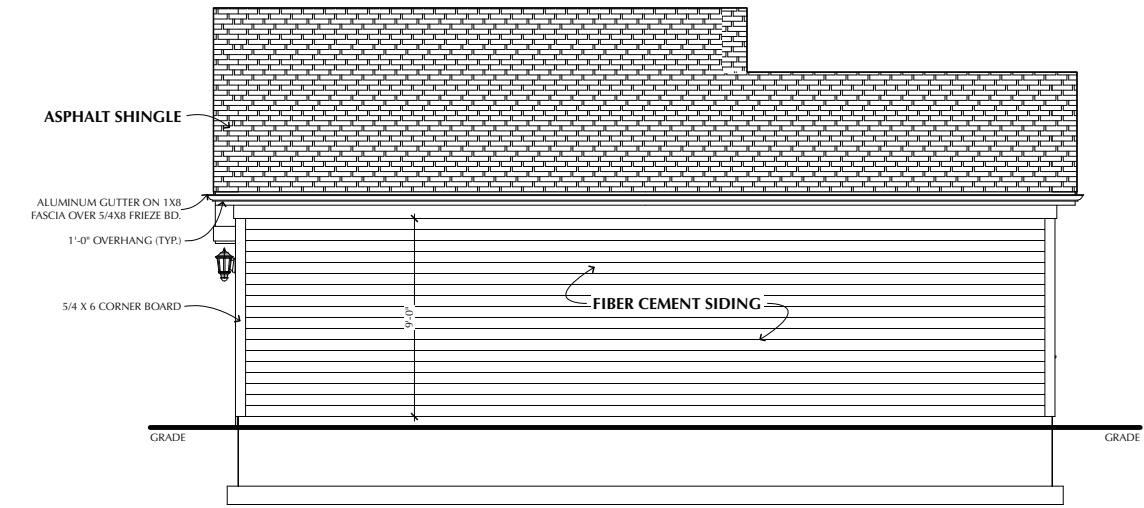
5 HOUSE SECTION
SCALE: 1/4" = 1'-0"



4 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



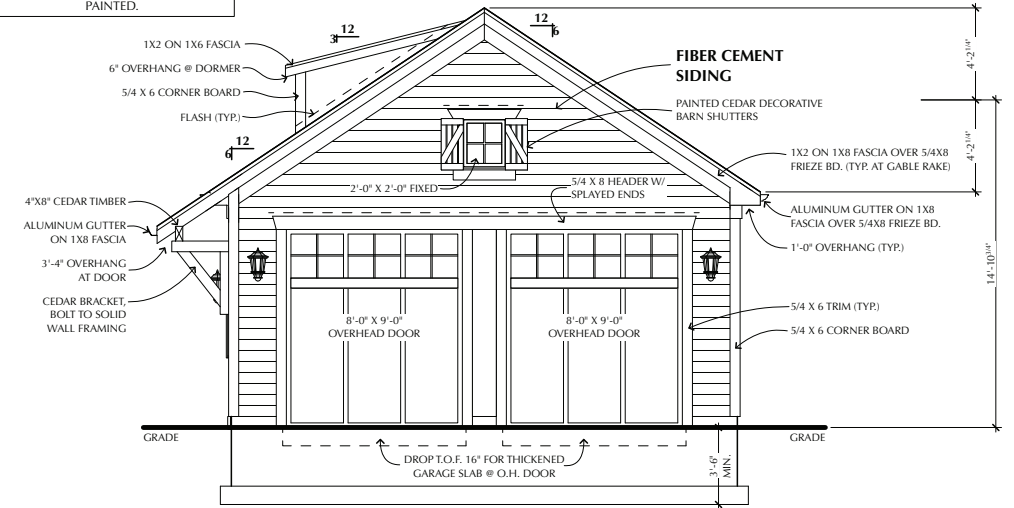
2 REAR ELEVATION
SCALE: 1/4" = 1'-0"



3 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

SIDING NOTE:
NOTE: ALL NEW SIDING TO BE FIBER CEMENT LAP SIDING, COLOR T.B.D.

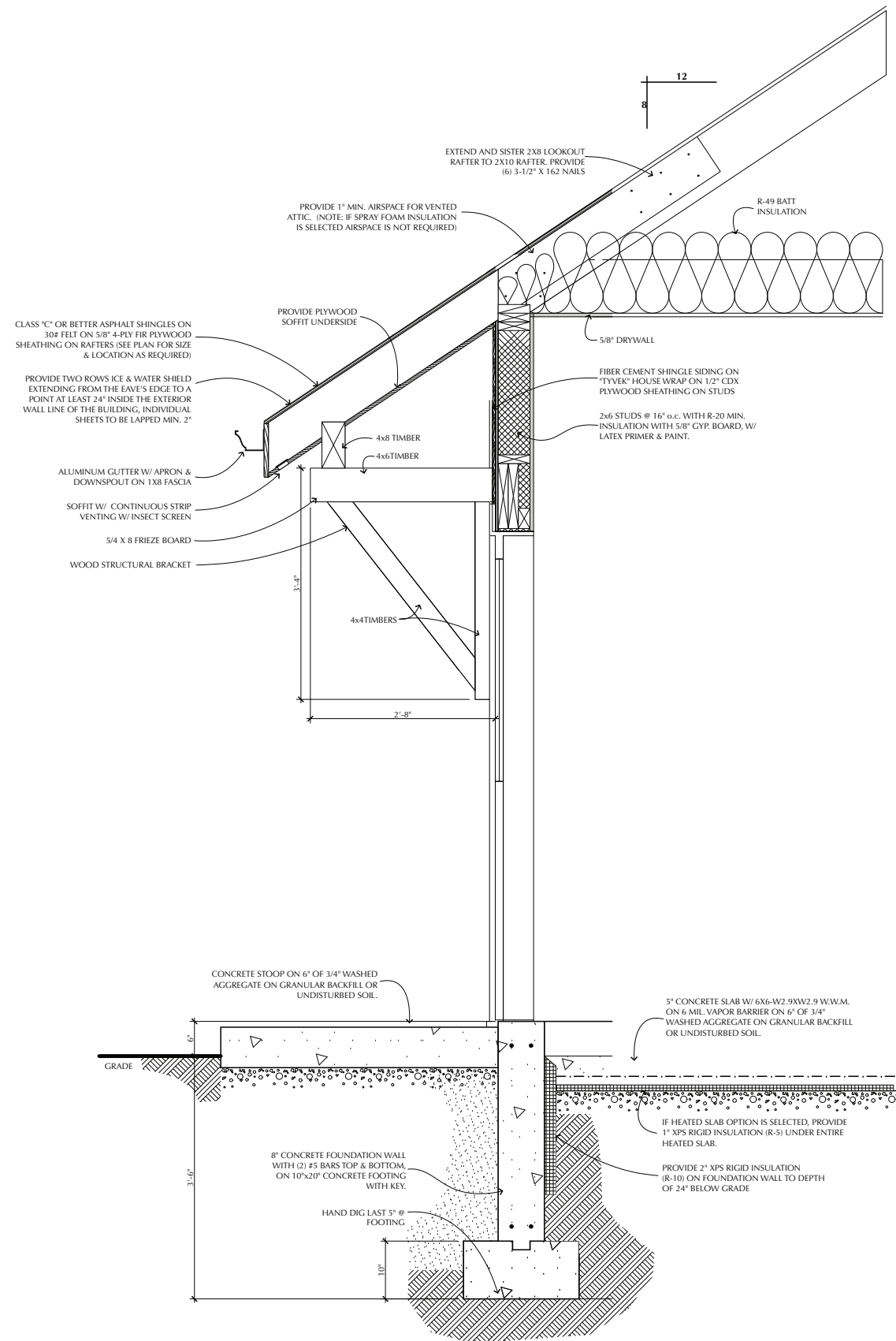
TRIM NOTE:
NOTE: ALL NEW TRIM TO BE "LP" TRIM, PAINTED.



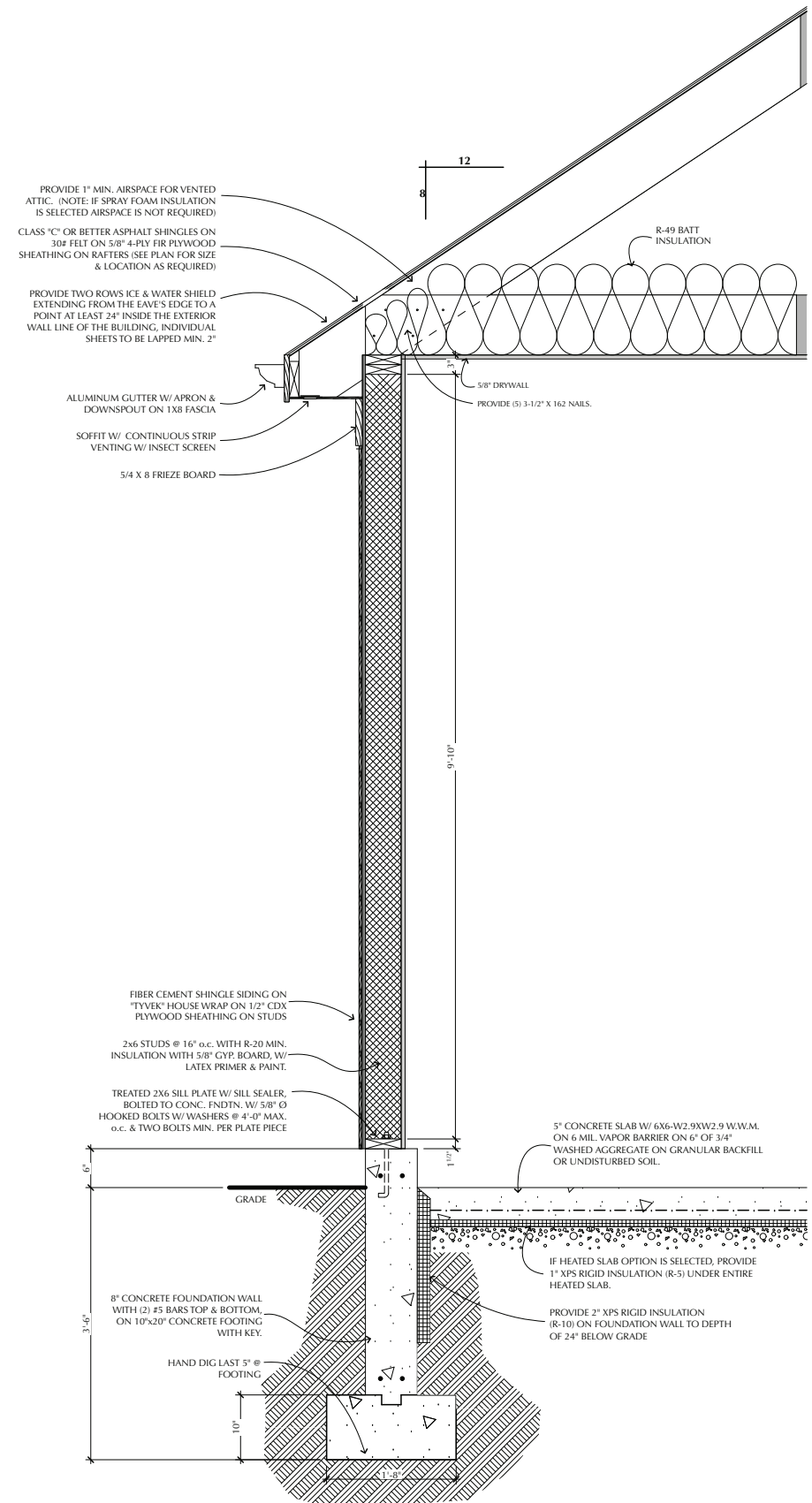
1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

DATE	REVISION NOTES
05/18/2020	PRELIM. PRESENTATION
06/22/2020	REVISED PRELIMS
08/28/2020	REVISED PRELIMS

PROPOSED DETACHED GARAGE
COLDOCK RESIDENCE
1316 WEBFORD AVE.
DES PLAINES, IL 60016



2 WALL SECTION - AWNING
SCALE: 1" = 1'-0"



1 WALL SECTION
SCALE: 1" = 1'-0"

DATE	REVISION NOTES
05/18/2020	PRELIM. PRESENTATION
06/22/2020	REVISED PRELIMS
08/28/2020	REVISED PRELIMS

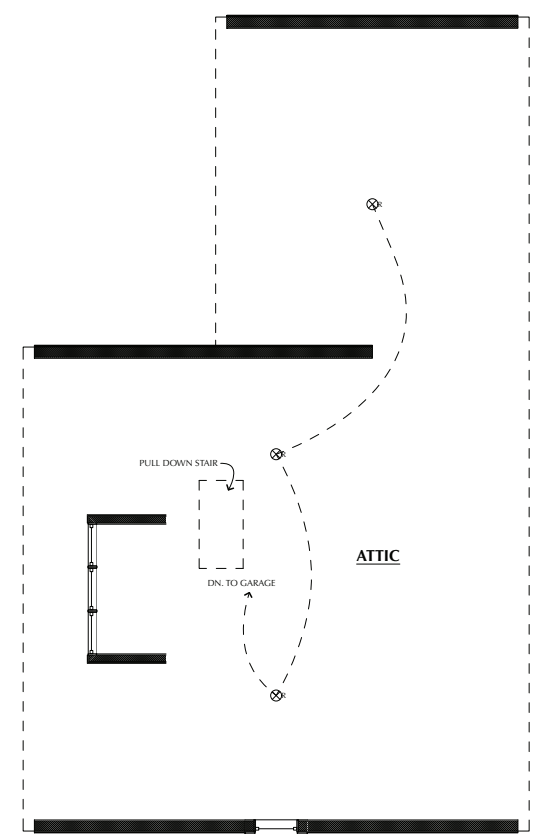
PROPOSED DETACHED GARAGE
COLDOCK RESIDENCE
1316 WEBFORD AVE.
DES PLAINES, IL 60016

WALL SECTIONS

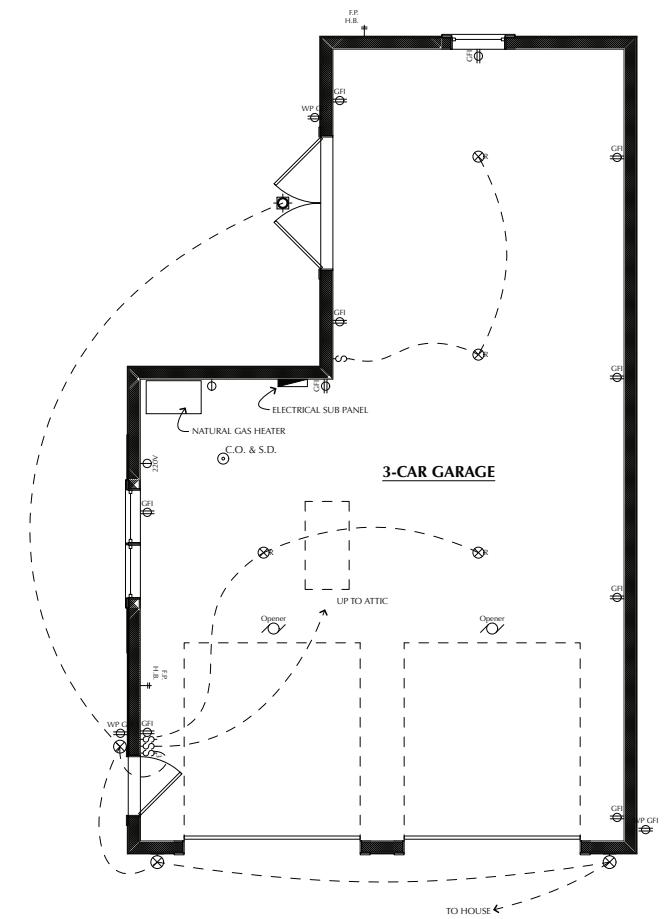
A-301
SHEET 5 of 6

ELECTRICAL NOTES	
A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS OR A MIN. OF 75% OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH EFFICACY LAMPS.	
5" RECESSED CANS BY JUNO WITH WHITE TRIM AND WHITE BAFFLES TO BE INCLUDED IN BASE BID. ELECTRICIAN TO INCLUDE ALL RECESSED CAN LIGHTING AND REQUIRED LAMPS	
ALL SWITCHES AND OUTLETS TO BE DECORA IN STANDARD COLOR.	
NEW OUTLETS IN GARAGE AND EXTERIOR LOCATIONS TO BE GFCI RATED.	
ELECTRICIAN TO PROVIDE SHUT-OFFS FOR ALL MECHANICAL EQUIPMENT.	
PROVIDE WP GFI AT EXTERIOR LOCATIONS, MIN. ONE AT EACH ENTRY DOOR.	

ELECTRICAL KEY			
⊗	JUNCTION BOX, FIXTURE PROVIDED BY OWNER	⊖	SINGLE OUTLET
⊗	REINFORCED JUNCTION BOX, FIXTURE PROVIDED BY OWNER	⊖	DUPLEX OUTLET
⊗	WALL MOUNTED JUNCTION BOX, FIXTURE PROVIDED BY OWNER	⊖	GFI DUPLEX OUTLET
⊖	WALL SCONCE, FIXTURE PROVIDED BY OWNER	⊖	ARC-FAULT DUPLEX OUTLET
⊖	FLOOD LAMP	⊖	220 VOLT DEDICATED OUTLET
⊖	RECESSED CAN LIGHT	⊖	DOOR OPENER
⊖	FLOURESCENT LIGHT FIXTURE	⊖	GARBAGE DISPOSAL
⊖	UNDER-CABINET LIGHTING	⊖	EXHAUST FAN
⊖	SINGLE POLE SWITCH	⊖	SMOKE DETECTOR
⊖	3-WAY SWITCH	⊖	THERMOSTAT
⊖	DIMMER SWITCH	⊖	LOW VOLTAGE SPEAKER
⊖	JAMB SWITCH	⊖	LOW VOLTAGE AS INDICATED

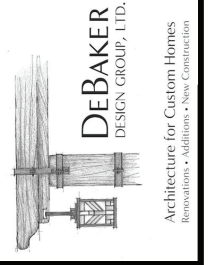


2 SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

DEBAKER DESIGN GROUP, LTD.
7927 N. LINCOLN AVE. #201
SKOKIE, IL 60077
P: 773-368-8917
DEBAKERDESIGN.COM
© 2020 ALL RIGHTS RESERVED



DATE	REVISION NOTES
05/18/2020	PRELIM. PRESENTATION
06/22/2020	REVISED PRELIMS
08/28/2020	REVISED PRELIMS

PROPOSED DETACHED GARAGE
COLLDOCK RESIDENCE
1316 WEBFORD AVE.
DES PLAINES, IL 60016

ELECTRICAL PLANS

E-101
SHEET 6 of 6



1316 Webford Ave – Public Notice



1316 Webford Ave – Looking East at Front of Site



1316 Webford Ave – Looking North at Existing Detached Garage



1316 Webford Ave – Looking North at Side of Site